

14N O T I C E

A meeting of the City of Evansville Plan Commission will be held on the date and time stated below. Notice is further given that enough members of the City Council and Historic Preservation Commission may be present to constitute a “meeting” under Wisconsin statutes and this constitutes notice of any such meeting. Requests for persons with disabilities who need assistance to participate in this meeting should be made by calling City Hall at (608)-882-2266 with as much notice as possible.

City of Evansville **Plan Commission**
Regular Meeting
City Hall, 31 S Madison St., Evansville, WI 53536
Tuesday, November 4th, 2025, 6:00 pm

AGENDA

1. Call to Order
2. Roll Call
3. Motion to Approve Agenda
4. Motion to waive the reading of the minutes from the October 7th, 2025 meeting and approve them as printed.
5. Civility Reminder
6. Citizen appearances other than agenda items listed.
7. Action Items
 - A. Review and Action on Site Plan Application SP-2025-01 for parcel 6-27-801 (129 N Madison Street)
 1. Review Staff Report and Applicant Comments
 2. Plan Commissioner Questions and Comments
 3. Motion to approve site plan subject to conditions as written in staff report
 - B. Public Hearing, Review, and Action on Conditional Use Permit Application CUP-2025-04 to operate an indoor commercial entertainment use (Domino’s Pizza) on a unit within parcel 6-27-958.091A2 (803 Brown School Road)
 1. Review Staff Report and Applicant Comments
 2. Public Hearing
 3. Plan Commissioner Questions and Comments
 4. Motion with Conditions
 - C. Public Hearing, Review, and Action on Land Division Application LD-2025-08 for a preliminary and final Certified Survey Map on parcel 6-27-396.207A (261/265 N Fourth Street)
 1. Review Staff Report and Applicant Comments
 2. Public Hearing
 3. Plan Commissioner Questions and Comments
 4. Motion with Conditions
 - D. Public Hearing, Review, and Action on Rezoning Application RZ-2025-06 for parcel 6-27-

-Mayor Dianne Duggan, Plan Commission Chair

843 (343 Union Street) to rezone from R-1 Residential District One to B-3 Community Business

1. Review Staff Report and Applicant Comments
 2. Public Hearing
 3. Plan Commissioner Questions and Comments
 4. Motion with Conditions
-
8. Discussion
 9. Community Development Report
 10. Upcoming Meeting: December 2nd, 2025 at 6:00pm
 11. Adjourn

-Mayor Dianne Duggan, Plan Commission Chair

City of Evansville Plan Commission
Regular Meeting
Tuesday, October 7th, 2025, 6:00 p.m.

MINUTES

- 1. Call to Order at 6:00pm.
- 2. Roll Call:

Members	Present/ Absent	Others Present
Mayor Dianne Duggan	P	Colette Spranger, Community Development Director
Aldersperson Bill Lathrop	P	Anne Kolasch
Aldersperson Abbey Barnes	A	Ted Gries
Susan Becker	A	Roger Berg
John Gishnock	P	Scott Mallon
Mike Scarmon	P	
Eric Klar	A	

- 3. Motion to approve the agenda, by Lathrop, seconded by Scarmon. Approved unanimously.
- 4. Motion to waive the reading of the minutes from the September 3rd, 2025 meeting approve them as printed by Lathrop, seconded by Scarmon. Approved unanimously.
- 5. Civility Reminder. Duggan affirmed the City’s commitment to conducting meetings with civility.
- 6. Citizen appearances other than agenda items listed. None.
- 7. Action Items

- A. Review and Possible Amendment to Site Plan SP-2024-02 on parcel 6-27-862 (60 N Union, Culver’s Restaurant)
 - 1. Review Staff Report and Applicant Comments

Spranger gave the update on the finished site plan. She was under the impression that a masonry wall would be visible from the street, blocking the view of cars in the parking lot. There was a wall built as shown on the site plan, but when considering grade most of the wall is below the ground and out of site. It was technically built according to the submitted plans. The issue is that the wall was a necessary part of the site design to achieve a shielded/screened view of the parking lot from Union Street. This shielding of parking lots is to be a feature of new development along Union Street as sites redevelop. The application is coming back for Plan Commission’s assessment on how to remedy the situation. The applicant, Scott Mallon, is present, and does not feel the wall is necessary and that it could be

a safety hazard if built 24” higher from its current location. The area behind becomes steep as it transitions to a stormwater pond.

2. Plan Commissioner Questions and Comments

Plan Commissioners concur that renderings submitted by the applicant depicted a wall, which suggested a wall would be visible. They also acknowledged that the wall was built according to plans that they approved. Discussion turned to how landscaping could achieve the spirit of the zoning intent.

3. Possible Motion to Amend Site Plan SP-2024-02

- 4. Motion by Duggan, second by Lathrop, to amend the site plan for SP-2024-02 to allow for 3 evergreen trees planted in front of the parking area, to stand in for a masonry while to provide screening effect of the parking lot. Motion passed unanimously.**

B. Public Hearing, Review, and Action on Rezoning Application RZ-2025-05 and Site Plan Application SP-2025-01 for parcel 6-27-801 (129 N Madison Street)

1. Review Staff Report and Applicant Comments

Spranger described the building expansion and explained the need for the rezone to allow for the site plan. The existing building and lot are existing and non-conforming to the B-1 zoning district. The B-2 zoning district is an appropriate implementing district for the future land use designation of the parcel. (*Note: during the meeting Spranger stated the future land use designation of the site was Historic Neighborhood. It is in fact Central Mixed Use, but the B-2 zoning district is still the recommended implementing district for that category.*) The current building has a zero lot line on its northern property line. The proposed expansion would extend the building to the western property line. There would still be 15 feet from the building to Park Drive. There are additional issues with the quasi-on street parking along the property’s southern boundary, but the intention is to address these when the City reconstructs Park Drive, which is scheduled in 2028. Spranger feels the switch to the B-2 district is appropriate, as the building is sited on the property in a way that is more akin to other downtown properties versus the B-1, whose intent is to blend in businesses within a neighborhood. Applicant Roger Berg was present and elaborated on the building design and purpose, which is to expand his offices for real estate and development.

2. Public Hearing

Public Hearing opened at 6:25PM. Ted Gries, 27 Grove Street, feels that the B-1 zoning district is the more appropriate district to remain in. He questions how the building would fit in with the design guidelines of the B-2 zoning district. Anne Kolasch, 39 Mill Street, began to discuss road projects on her street and was redirected to follow up with the City engineer who is charge of that project. Public hearing closed at 6:39PM.

3. Plan Commissioner Questions and Comments

There was hearty debate about the appropriateness of the rezone, including alternative ways to allow for the site plan to continue with a rezone. Spranger explained that a variance was considered, as the site has some unique qualities that could qualify it for a hardship, but that a variance would need to address several of the violations the building faces as it currently sits in the B-1. Variances also run with the property, which means a variance granted today would have to be honored in the future. Gishnock acknowledged the uniqueness of a property with three street sides, and stated his opinion that the building was an improvement of what had been there historically. Duggan inquired about what businesses could be put in its place if the zoning district changed; Spranger replied that it was very similar to the B-1. Scarmon discussed the possibility of the City vacating right-of-way when Park Drive is reconstructed, which could enlarge the property and address setback issues. Lathrop was concerned about

the possibility of long-term redevelopment that could result in a building inappropriate to its surroundings, citing the possibility that four stories could be built in this location. Plan Commission members stated there was no opposition to the site plan, but wanted to ensure the rezoning was consistent and did not create an adverse effect on future development.

4. Motions

1. Motion to Recommend Approval of Ordinance 2025-11

Motion made by Duggan, with a request to take roll call. Final vote was 3-1 with Lathrop dissenting. Motion failed, per Section 94-40 of the City of Evansville Municipal Code, which states “all actions shall require the affirmative approval of a majority of all the members of the plan commission.”

2. Motion to Approve Site Plan, subject to conditions as written in staff report

Plan Commission took no action, as there was confusion on how the vote of the rezoning ordinance impacted the conditions stated in the site plan.

8. Discussion. None.

9. Community Development Report. None given.

10. Next Meeting Date: Tuesday, November 4th 2025 at 6:00 p.m.

11. Adjourn at 7:12pm.



SITE PLAN APPLICATION – STAFF REPORT

Applications: SP-2025-01

Applicants: Grove Partners LLC

Parcel: 6-27-801 **Location:** 129 N Madison Street

November 4th, 2025

Prepared by: Colette Spranger, Community Development Director

Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263

Description of request: The applicant is seeking approval for an office expansion located at 129 N Madison Street. No change of use or operation is anticipated.

Current zoning district: B-1 Neighborhood Business

Pending Zoning District: B-2 Central Business District.

Prior Plan Commission Action on Rezoning Application RZ-2025-05

The Plan Commission held a public hearing and review of the rezoning request at its October 7th meeting. There was discussion among the commissioners and a member of the public about the appropriateness of rezoning to the B-2 zoning district. The final vote on whether or not to recommend the ordinance change was 3 in support, 1 in opposition.

There were four commissioners in attendance at the October meeting, which constitutes a quorum. In order for an action to proceed, “all actions shall require the affirmative approval of a majority of all the members of the plan commission.” (City of Evansville Municipal Code § 94-40) After a review with the City Attorney, the Plan Commission’s action at the October meeting was valid but did not result in an affirmative (or negative) decision. Essentially, the Plan Commission’s vote did not result in a recommendation one way or the other to Common Council regarding the rezoning application.

Common Council will review, discuss, and take action on the rezoning ordinance at its November 11th meeting.

Outcome of Tonight’s Action

As no action was taken on the site plan application in October, Plan Commission must make a decision tonight. Site plan applications are not reviewed at Common Council. Should Plan Commission turn down the application, the applicant would have the right to appeal through the Board of Zoning Appeals.

Staff Analysis of Request:

Staff maintains its recommendation to approve the application, contingent on rezoning the property to the B-2 zoning district. The expansion of the building itself is simple enough; the rear of the building will go to the lot line on side that abuts Park Drive. There is still 15 feet of right-of-way between the lot line and the curb for Park Drive, leaving ample space for an eventual sidewalk or potential utility needs. The siding, roofing, windows, trim, and other architectural details of the addition will match or compliment the existing structure. The building addition has a different roofline that the rest of the building but is otherwise complimentary in terms of size and massing.

One point of contention with rezoning to the B-2 district was the possibility of a future redevelopment project on this site that could result in a multi-story building. While it is true that the B-2 district allows buildings up

to 4 stories tall, there are some stop-gaps built into the district that would prevent this from becoming an issue:

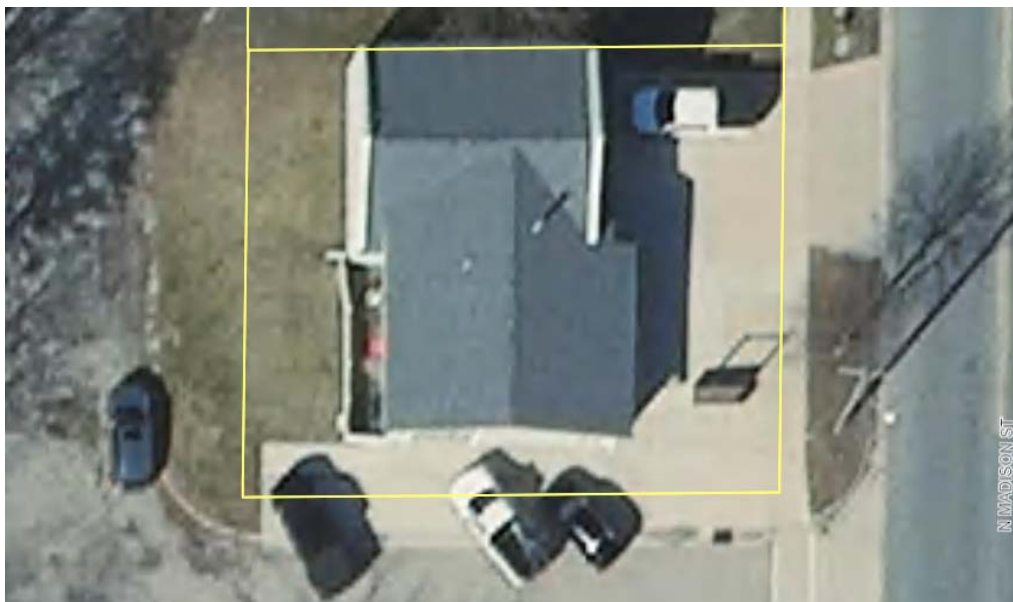
- Floor area ratio maximum of 3.00 would make exceeding three stories difficult or impractical in this location.
- Maximum building height is 45 feet; a variance would need to be granted to exceed this height restriction. (Currently the building is one story and just short of 20 feet in height; commercial floor heights above the first floor are typically between 10-12 feet.)
- The zoning codes also stipulates that within the B-2 district: "In no instance shall buildings be more than one story taller or shorter than the height of a building of a similar use on one of the immediately adjoining properties."

As a precaution, staff recommends a condition on this site plan that no redevelopment occur on this site that exceeds two stories. This decision would be recorded with Rock County and follow the property.

There would be no landscape requirements for this project. The applicant is welcome to install plantings to their liking.

The applicant has suggested striping angled parking along the south side of the building along Park Drive. This area has long been in use as an informal parking lot (since at least 2007, likely earlier) but is technically within the City right-of-way. Striping parking spaces of appropriate size would also extend those spaces into Park Drive by about 15 feet. When building improvements were done to the interior of this building in 2018, a discussion occurred regarding the future of this encroachment. At the time, it was agreed that the parking could remain until Park Drive is either reconstructed or resurfaced. Preliminary planning by the City suggests this might occur in 2028 or along with reconstruction of Madison Street, which the Department of Transportation plans for 2028/2029.

At this time in the future, the missing curb along Park Drive will be rebuilt. The property owner would then be responsible for adding a sidewalk at the property line going around the south and west sides of the lot. The City can then stripe parallel parking on Park Drive adjacent to the new curb and potentially add angled parking on the west side of the property. This would clean up the look of the area and correct a long-time encroachment onto Park Drive.



Aerial view showing informal parking spaces over public and private land.



Black dashed line shows approximate location of property line.

Plan Commission Recommended Motions

Motion to approve site plan application SP-2025-01 for improvements and building expansion on parcel 6-27-801 finding that the proposed changes meet the required standards and criteria set forth in Section 130-131 of the City of Evansville Zoning Ordinance, and are in the public interest, subject to the following conditions:

- 1. Common Council approves Ordinance 2025-11.***
- 2. Any redevelopment on the site not to result in a building exceeding two stories.***
- 3. Parking area on south side of property encroaching into Park Drive is allowed to remain until the City reconstructs or repaves Park Drive.***
- 4. If striping is desired in the area described above in item 3, applicant will notify and work with City Public Works Department. Striping will be performed by City staff.***
- 5. After reconstruction or repavement of Park Drive, the City will require the applicant to install a sidewalk on the south and west sides of the property along Park Drive.***
- 6. Any major deviations from approved plans will require a resubmittal of application and possibly fees or enforcement action.***
- 7. Applicant records the site plan with the Rock County Register of Deeds.***

Chapter 130 Review Criteria and Standards

The following section compares the site plan with the basic provisions of the base zoning district and other considerations of how the site functions, both internally and within its environs.

Site Plan Criteria Evaluation

Section 130-131 of the Municipal Code, includes factors for evaluating site plans.

Criteria	Staff Comment
1. Site Design and Physical Characteristics	The proposed addition is complimentary to the existing building. The extension of the building lines up with the
2. Site location relative to public road network	- Site is a corner lot with public streets on three sides. - Recommendation to restore curbing on south end of lot and restore grass in the right-of-way, eliminating ambiguous ownership/maintenance of paved areas within and on Park Drive
3. Land Use	- Comprehensive Plan Future Land Use Category: Historic Neighborhood - No proposed change to the land use; expansion will enable more professional services to be offered at this location, which require no further zoning approvals.
4. Traffic Generation	- Additional trip generation associated with the building addition is insignificant in the context of Madison Street, which is an arterial corridor through the City - Cleaning up curb on south side will better direct traffic and cut down on potential vehicle conflicts at the Park Drive and Madison Street intersection.
5. Community Effects	An established business is enabled to expand and improve its operations.
6. Other Relevant Factors	Rezoning to the B-2 district resolves the site and lot's non-conforming status

Sec. 130-798. Requirements for non-residential uses.	B-2 Central Business District	129 N Madison Street	Met?
1. Non-Residential Intensity			
a. Max # of Floors	4	1	
b. Min Landscape Surface Ratio	0%	0%	
c. Max floor area ratio	3.00	0.43	
d. Min lot area	1,750 sq ft	5,445 sq ft	
e. Max building size	n/a	n/a	
2. Nonresidential bulk/lot dimensions			
a. Min lot area	1,750 sq ft	5,445 sq ft	
b. Min lot width	20 feet	OK	
c. Min street frontage	20 feet	OK	
3. Minimum setbacks and building separation			
a. Building to resident. side lot line	0 feet	OK	
b. Building to resident. rear lot line	10 feet	OK	
c. Building to nonres. side lot line	0 feet	OK	
Building to nonres. rear lot line	10 feet	OK	
Min paved surface setback-Side/rear	0 feet	OK	
d. Min paved surface setback - Street	0 feet	OK	
e. Min building separation	0 feet	OK	
f. Maximum building height	40 feet	OK	
g. Minimum building height	20 feet	OK	

Key:

Green = compliant

Yellow = legal but may require further inspection

Red = non-compliant

“OK” denotes a condition that is currently existing and conforming the zoning district.

Landscape Regulations (Article IV, Ch. 130)

B-2 zoning district only requires landscape points when parking areas on private sites exceed 20 spaces or 10,000 square feet.

Other Relevant Zoning Code Standards

Performance Standards (Article III, Ch. 130)

Plan Commission to consider nuisances or adverse impacts related to air pollution, fire/explosive hazards, glare/heat, liquid/solid wastes, noise, odors, radioactivity, electrical disturbances, vibration, or water quality.

Signs

(Article X, Ch. 130)

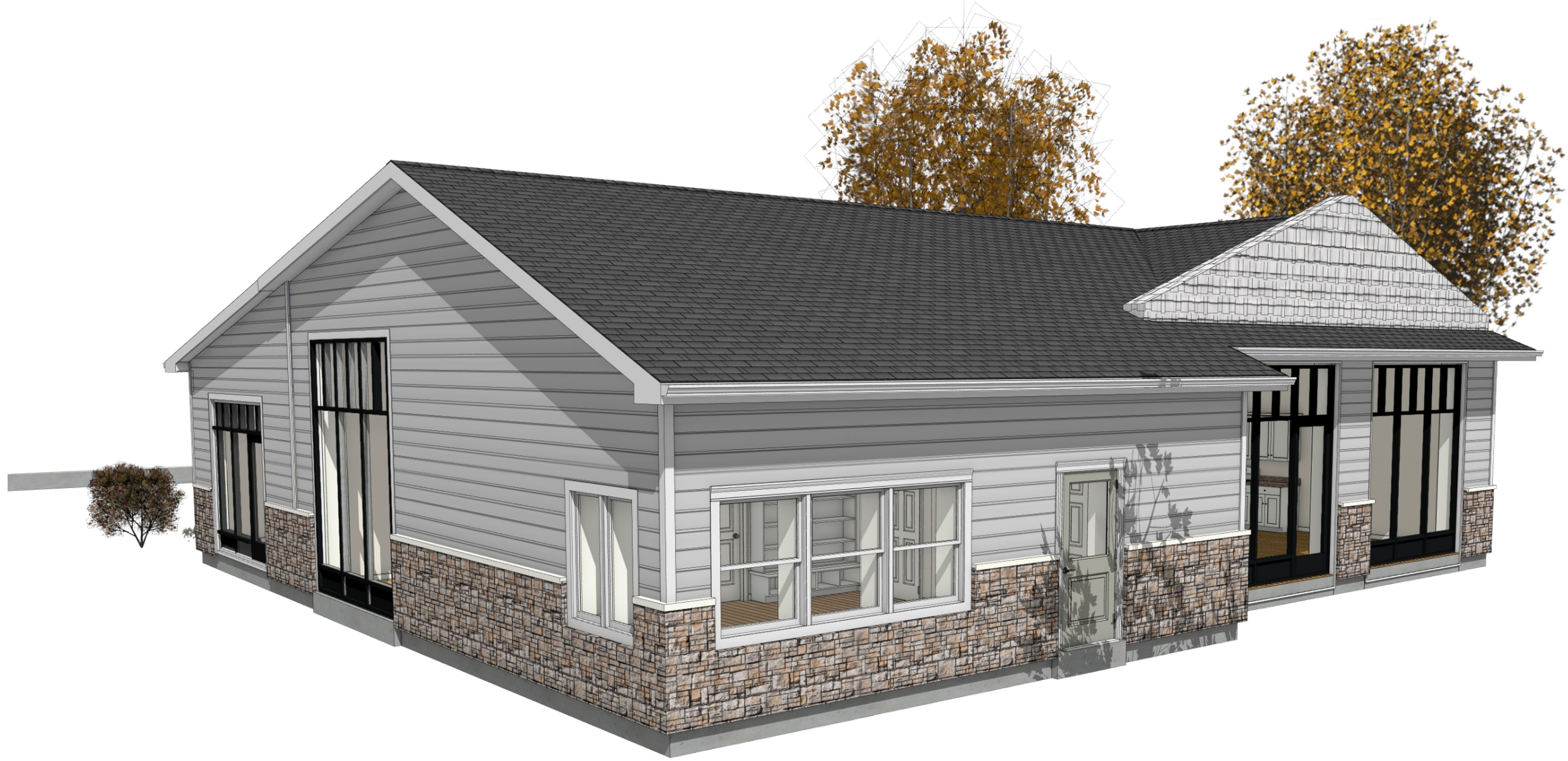
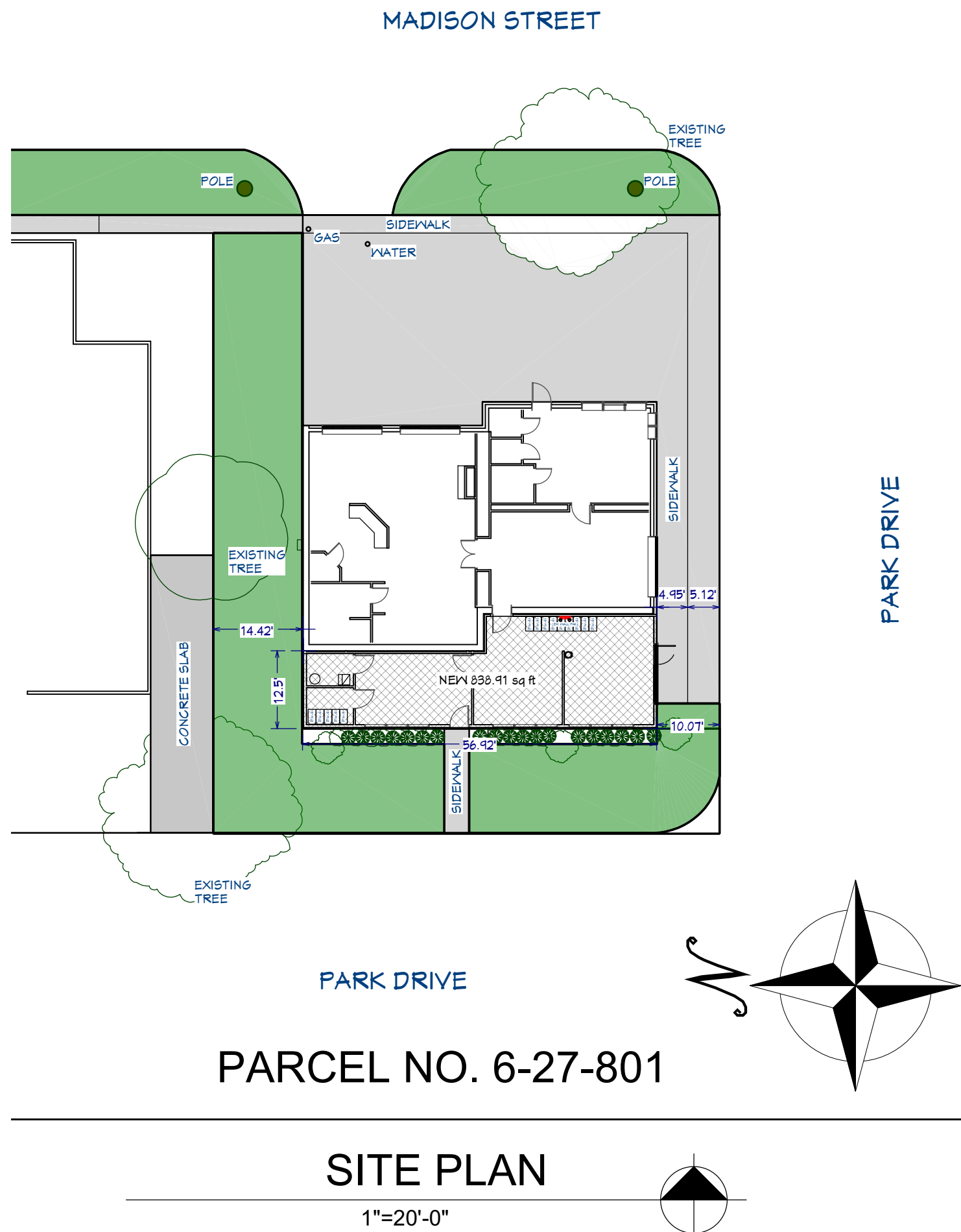
Any changes to signs on the property beyond a change in copy will require a separate sign permit.

Parking

(Article XI, Ch. 130)

Waived for professional service uses in the B-2 zoning district.

BERG REALITY
839 S.F. ADDITION
129 N MADISON ST., EVANSVILLE WI. 53536



RENDERING MAY NOT REFLECT PROPOSED MATERIALS
(FOR ILLUSTRATION ONLY)

- PROJECT STATISTICS:
- LOT SIZE: 8,900 S.F.
 - ANTICIPATED DISTURBED AREA: 1,500 S.F.
 - EXISTING BUILDING: 2,000 S.F.
 - BUILDING ADDITION: 839 S.F.
 - RIDGE HEIGHT: 18'-6"
- SITE PLAN NOTES:
- SOIL: 1,500 PSF ALLOWABLE (ASSUMED)
 - TO BE AT TIME OF EXCAVATION.
 - FROST DEPTH: 4'
 - SEISMIC ZONE: C
 - WIND EXPOSURE FACTOR: 1
 - WIND SPEED (3 SEC GUST) 115 MPH
 - WIND BUILDING DESIGN PRESSURE: 23 PSF
 - WIND EXPOSURE: B
 - SNOW IMPORTANCE FACTOR: 1
 - FLOOR LIVE LOAD: 40 PSF
 - FLOOR DEAD LOAD: 15 PSF
 - ROOF DEAD LOAD: 15 PSF
 - ROOF LIVE LOAD: 30 PSF
 - SNOW EXPOSURE FACTOR: 1
 - THERMAL FACTOR: 1
 - ATTIC VENTILATION: 1/300 SF OF ATTIC DIVIDED WITH 50% AT EAVE & 50% AT RIDGE OR ROOF VENTS

GENERAL NOTES AND SPECIFICATIONS, RESIDENTIAL CONSTRUCTION

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE CURRENT UDC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

- DESIGN CRITERIA: 2006 IRC AND IBC
- ROOF: 50 PSF SNOW LOAD
 - 8 PSF TOP CHORD DL.
 - 7 PSF BOTTOM CHORD DL.
 - 5 PSF NET WIND UPLIFT.
 - FLOOR: 40 PSF LL.
 - 10 PSF TOP CHORD DL.
 - 5 PSF BOTTOM CHORD DL.
 - SOIL: 2,000 PSF ALLOWABLE (ASSUMED), TO BE AT TIME OF EXCAVATION
 - FROST DEPTH: 4'-0"
 - SEISMIC ZONE: C.
 - WIND: 115 MPH (90 MPH 3 SEC GUST), EXPOSURE C.

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

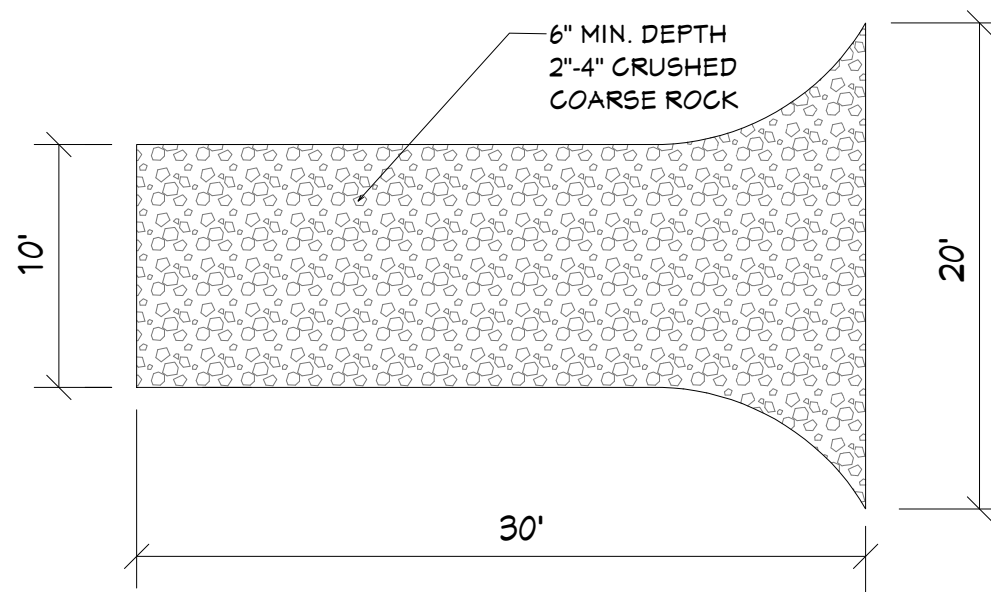
EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

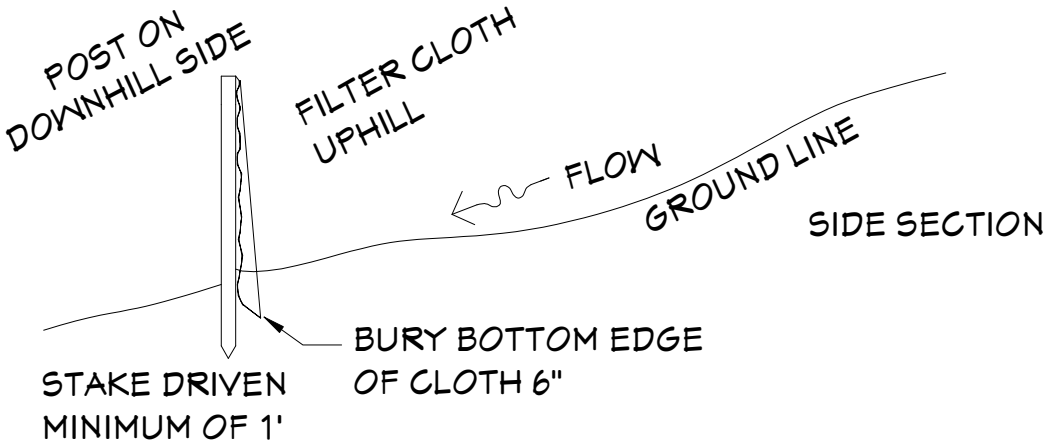
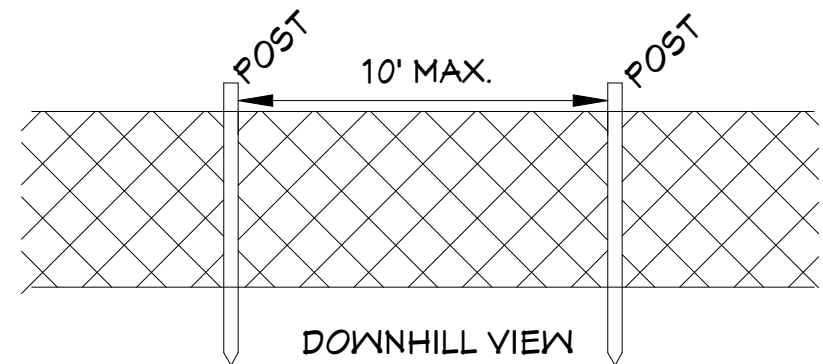
SEDIMENT CONTROL MAINTENANCE & INSPECTIONS

THE CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENT CONTROL SILT FENCE AS SHOWN ON PLAN TO ENSURE SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROPERTY BOUNDARIES. THE CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SILT FENCE TO ASSURE CONTINUED PERFORMANCE OF ITS INTENDED USE. AT MINIMUM TWO INSPECTIONS BY THE DESIGN PROFESSIONAL ARE REQUIRED FOR THE PROPOSED PROPERTY. 1) AFTER SEDIMENT CONTROL SILT FENCE HAS BEEN INSTALLED, PRIOR TO GROUND DISTURBANCE, AND; 2) AFTER THE PROJECT HAS BEEN COMPLETED, INCLUDING RE-VEGETATION AND/ OR PROPOSED LANDSCAPING. FOR SITES WHICH ARE ACTIVE DURING THE WINTER MONTHS, TWO ADDITIONAL INSPECTIONS ARE REQUIRED. 1) PRE WINTER (OCT OR NOV) AND 2) POST WINTER (FEB OR MARCH) TO ENSURE EROSION AND SEDIMENT CONTROL MEASURES ARE INTACT AND FUNCTIONING PROPERLY. THE PERMITTEE'S DESIGN PROFESSIONAL SHALL PERFORM THE INSPECTIONS AND SUBMIT INSPECTION REPORTS TO KOOTENAI COUNTY BUILDING & PLANNING. ALL ACTIVITIES GOVERNED BY THESE REGULATIONS SHALL BE SUBJECT TO INSPECTIONS BY THE COUNTY. AN APPROVED SET OF PLANS MUST BE AVAILABLE FOR REVIEW THROUGHOUT THE DURATION OF THE PROJECT. IT SHALL BE THE PERMITTEE'S RESPONSIBILITY TO KEEP THE COUNTY NOTIFIED OF THE PROGRESS OF THE PROJECT AND SUBMIT ALL REQUIRED INSPECTIONS.



THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL ROCK AS NEEDED. IF ANY SEDIMENT AND/ OR ROCK IS TRACKED ONTO PUBLIC RIGHT-OF-WAY IT MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE

Layout Page Table			
Label	Title	Descriptor	Comments
1	TITLE SHEET		
2	SITE PLAN		1"=10'
3	FOUNDATION PLAN		1/4" = 1'-0"
4	FLOOR PLAN		1/4" = 1'-0"
5	SECTION 3 & 4		1/2"=1'-0"
6	SECTION 5 & DETAILS		1/2" = 1'-0"
7	ROOF PLAN & FRAMING		1/4" = 1'-0"
8	ELEVATIONS		1/4"=1'-0"

3D VIEWS ARE NOT TO SCALE AND MAY NOT REFLECT EXACTLY WHAT IS AVAILABLE FOR THE PROJECT. RENDER VIEWS ARE REPRESENTATIONS OF WHAT THE VIEW COULD LOOK LIKE, NOT WHAT IT WILL LOOK LIKE. 2D VIEWS ALWAYS SUPERCEDE 3D VIEWS



LICENSE NUMBER:

-

NEW HOME PLANS FOR:

BERG OFFICE ADDITION
129 NORTH MADISON ST.
EVANSVILLE, WI. 53536

CELL PHONE: 608-212-3703

PAGE TITLE:

TITLE SHEET

DRAWN BY:

JMH

DATE:

10/1/2025

SCALE:

SHEET #:

A1

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-

NEW HOME PLANS FOR:

BERG OFFICE ADDITION
129 NORTH MADISON ST.
EVANSVILLE, WI. 53536

CELL PHONE: 608-212-3703

PAGE TITLE:

SITE PLAN

DRAWN BY:

JMH

DATE:

10/1/2025

SCALE:

1'=10'

SHEET #:

A2

MADISON STREET

EXISTING TREE

POLE

POLE

SIDEWALK

GAS

WATER

EXISTING TREE

14.42'

12.5'

NEW 838.91 sq ft

SIDEWALK

4.955.12'

10.07'

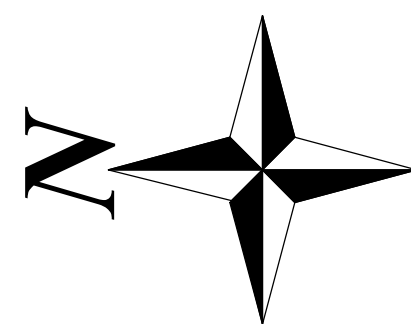
CONCRETE SLAB

SIDEWALK

PARK DRIVE

PARCEL NO. 6-27-801

PARK DRIVE



CONCRETE NOTES

- CONCRETE (WHERE APPLICABLE)
- A. ALL FULL CONCRETE FOUNDATION WALLS SHALL BE MONOLITHIC SLAB. EDGE BEAM TO BE 18"x16" WITH (2) #4 BARS CONT.
- B. PROVIDE 1/2" S ANCHOR BOLTS 4'0" O/C AROUND ENTIRE PERIMETER OF FOUNDATION AND ENDS OF ALL PLATES FOR ANCHORAGE OF SILL PLATES. EMBED 12" INTO FOUNDATION WALL.
- C. ALL SILL PLATES TO BE TREATED AND SET ON FOUNDATION WITH SILL SEALER.
- D. ALL CONCRETE TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS (MIN 5 BAG MIX) AIR ENT. 5-7
- E. FOOTINGS ASSUMED TO REST ON UNDISTURBED SOIL WITH A 2400 PSI DESIGN SOIL PRESSURE (1500 PSF SAFE BEARING PRESSURE)
- F. COLD AND HOT WEATHER PROTECTION SHALL BE AS PRESCRIBED BY ACI 306 AND ACI 305 RESPECTIVELY. INSULATE PERIMETER AS SHOWN ON A-2.

1. READY MIXED CONCRETE SHALL BE AS FOLLOWS. ALL CONCRETE WORK IN ACCORDANCE WITH ACI LATEST CODES AND APPLICABLE SPECIFICATIONS.

STRUCTURAL CONCRETE - (FOOTINGS, WALLS, PIERS, ETC.)

STRENGTH - MINIMUM OF 3,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.

MIX - MINIMUM OF 5 BAG MIX OR 4 1/2 BAG WITH THE ADDITION OF ASTM 494 WATER-REDUCING ADMIXTURE.

SLUMP - MAXIMUM OF 5" FOR STANDARD MIXES OR 6" WITH THE ADDITION OF ASTM 494 WATER-REDUCING ADMIXTURE.

WATER CEMENT RATIO - SHALL NOT EXCEED 0.55 BY WEIGHT.

AIR ENTRAINMENT - 4% MINIMUM TO 7% MAXIMUM.

NOTE: CONFIRMATION OF THIS MIX MUST BE IDENTIFIED ON EACH "REDIMIX TICKET" THAT ACCOMPANIES EACH DELIVERY.

INTERIOR SLABS CONCRETE

STRENGTH - MINIMUM OF 4,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.

MIX - MINIMUM OF 6 BAG OR 5-1/2 BAG WITH ADDITION OF ASTM 494 WATER-REDUCING ADMIXTURE.

SLUMP - MAXIMUM OF 5" FOR STANDARD MIXES OR 6" WITH ADDITION OF ASTM 494 WATER-REDUCING ADMIXTURE.

WATER CEMENT RATIO - SHALL NOT EXCEED 0.50 BY WEIGHT.

AIR ENTRAINMENT - 0% MINIMUM TO 3% MAXIMUM.

NOTE: CONFIRMATION OF THIS MIX MUST BE IDENTIFIED ON EACH "REDIMIX TICKET" THAT ACCOMPANIES EACH DELIVERY.

FLOOR FLATNESS AND LEVELNESS - FLOORS UNDER TOP-INGS, TILE AND BEDS = (F) of 20, (F) of 13. FLOORS UNDER VGT, SEALERS, PAINT AND CARPET = (F) of 20, (F) of 17. MIN LOCAL VALUE FF15 / FL10

EXTERIOR SLABS CONCRETE

STRENGTH - 4,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.

MIX - MINIMUM 6 BAG.

SLUMP - MAXIMUM 4".

WATER CEMENT RATIO - SHALL NOT EXCEED 0.45 BY WEIGHT.

AIR ENTRAINMENT - 5% MINIMUM TO 8% MAXIMUM.

COARSE AGGREGATE

SHALL BE STATE OF WISCONSIN "SUPERSTRUCTURE QUALITY" GRADE AND SHALL CONTAIN NO MORE THAN 2% TOTAL BY WEIGHT OF DELETERIOUS MATERIALS WHOSE DISINTEGRATION IS ACCOMPANIED BY AN INCREASE IN VOLUME WHICH MAY CAUSE SPALLING IN THE CONCRETE.

FINE AGGREGATE

CLEAN NATURAL SAND.

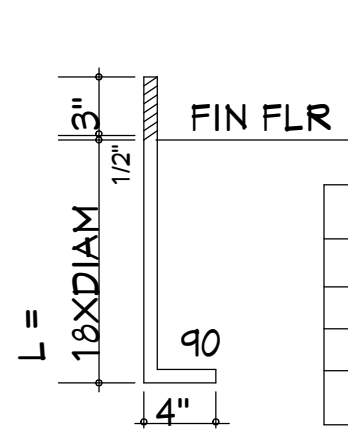
GENERAL NOTES

NOTE: ON ALL EXTERIOR FLATWORK POURED AFTER SEPT. 15 THE MINIMUM CEMENT CONTENT SHALL BE INCREASED TO 6-1/2 BAG AND CALCIUM CHLORIDE SHALL BE ADDED TO A RATE OF 1/2%-2% BY WEIGHT. CALCIUM CHLORIDE SHALL BE ADDED IN SOLUTION AND MIXED THOROUGHLY. DO NOT USE WATER REDUCING AGENTS.

NOTE: CONFIRMATION OF THIS MIX MUST BE IDENTIFIED ON EACH "REDIMIX TICKET" THAT ACCOMPANIES EACH DELIVERY.

2. INTERIOR CONCRETE SLABS SHALL BE OF THICKNESS AS SHOWN ON THE DRAWINGS AND REINFORCED AS SHOWN ON THE DRAWINGS AND SHALL RECEIVE ONE COAT OF A HARDENER: DAYTON-SUPERIOR (J15) OR SONNEBORN'S LAPIDOLITH OR A CURER/SEALER: DAYTON-SUPERIOR (J20) OR SONNEBORN'S KURE-N-SEAL 25 FOR CURE ONLY USE DAYTON-SUPERIOR'S (J11K) OR W.R. MEADOWS 1100-CLEAR. FOR APPLIED FLOORS (VGT, CERAMIC, ETC.) SHEET OR WET CURE ONLY.
3. INTERIOR CONCRETE SLABS SHALL HAVE A MONOLITHIC STEEL-TROWELED FINISH.
4. CURE AND PROTECT ALL CAST IN PLACE CONCRETE PER ACI CODE REQUIREMENTS.
5. FOUNDATION WALLS SHALL BE AS PER ARCHITECTURAL PLANS. ALL COLD JOINTS SHALL BE DOWNELED TOGETHER WITH #4 DOWELS, 12" O/C VERTICALLY. ALL REINFORCING SHALL BE CONTINUOUS FROM POUR TO POUR.
6. ALL REINFORCING BARS TO BE BILLET STEEL BARS ASTM A-15, GRADE 40.
7. CONSTRUCTION AND/OR CONTROL JOINTS SHALL BE PROVIDED AS REQUIRED, NOT MORE THAN 225 SQUARE FOOT AREAS. WHERE JOINT FILLER IS CALLED FOR USE: SONOMERIC 1, SONOLASTIC, TREMCO DYMERIC, TREMCO LASTO-MERIC OR EQUAL.
8. A 1/2" EXPANSION JOINT SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF THE BUILDING FLOOR AND 1/2" AROUND EACH PIER AND CENTER COLUMNS.
9. PROVIDE 6" COMPACTED GRANULAR FILL UNDER CONCRETE SLABS ON GRADE AS A MINIMUM REQUIREMENT WHEN FILL IS NOT SPECIFIED IN THE DRAWINGS. COVER W/ 6 MIL POLY VAPOR BARRIER.
10. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE REQUIRED CONCRETE PADS FOR ELECTRICAL AND HVAC EQUIPMENT.
11. ALL CONCRETE HAS BEEN DESIGNED BASED ON 1500 PSF BEARING CAPACITY.
12. WHERE CONTRADICTIONS ON THE PLANS AND/OR SPECIFICATIONS EXIST, THE ITEM REQUIRING THE GREATER MATERIAL AND/OR LABOR SHALL TAKE PRECEDENT.
13. AIR-ENTRAINING ADMIXTURE SHALL BE USED FOR ALL CONCRETE EXPOSED TO THE WEATHER. NO OTHER ADMIXTURES SHALL BE ADDED TO THE CONCRETE.
14. ALL MECHANICAL & ELECTRICAL PLANS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL AND A COPY PROVIDED TO KAI ARCHITECTURAL SERVICES.
15. ALL CONCRETE TOPPING SLABS SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 POUNDS PER SQUARE INCH AT 28 DAYS.
16. ELEVATION TOP OF FOOTINGS IS SHOWN ON THE PLANS. VERIFY ALL BEARING MATERIAL WITH THE ARCHITECT. ALL FOOTINGS SHALL BEAR ON SOLID UNDISTURBED SOIL. NO CONCRETE SHALL BE POURED IN EXCAVATIONS CONTAINING WATER.
17. ALL FILL AND BACKFILL FOR INTERIOR SLABS ON GRADE SHALL BE COMPACTED TO 95% OF ASTM 1557.

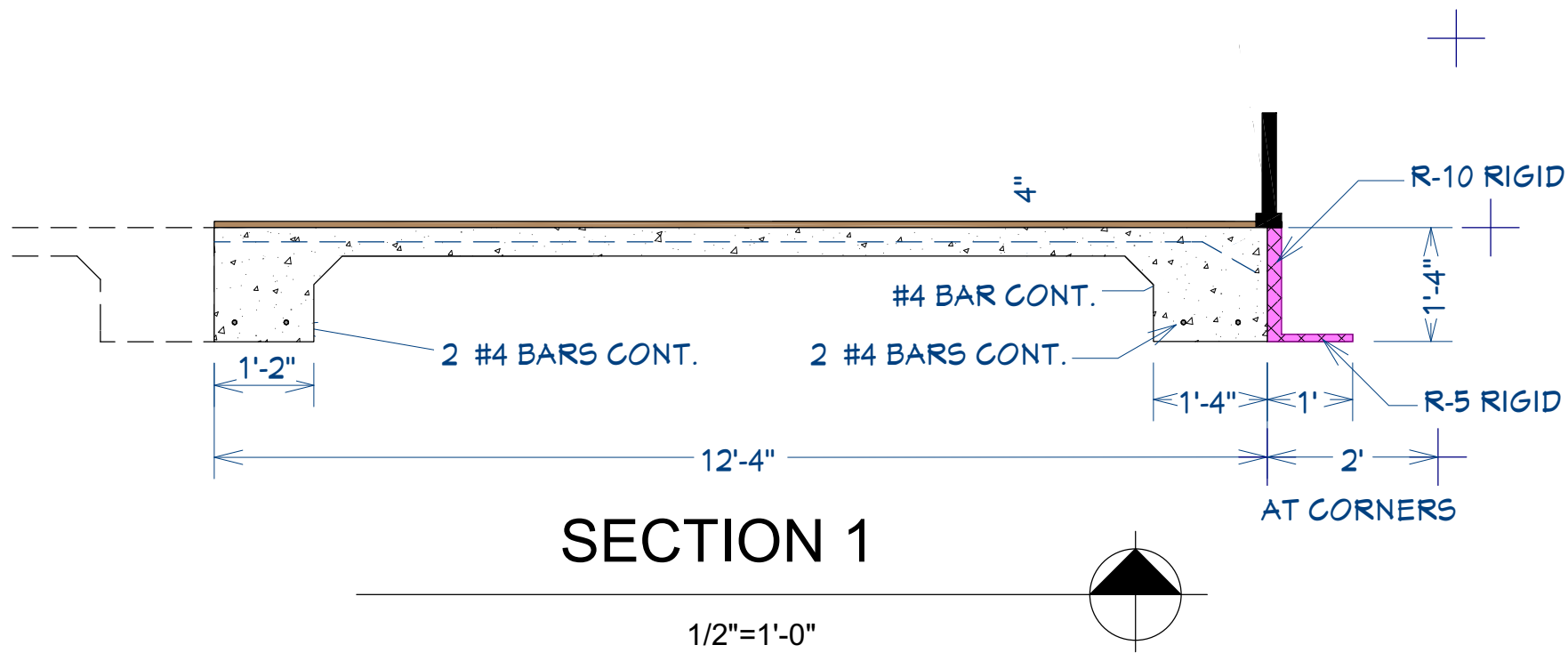
FOOTING ALTERNATE #1
IN LIEU OF KEYED FOOTING
PROVIDE #4 "J" BARS @ 18" O.C.



A. B. DETAIL

FOR BOLT PROJ.
SEE APPROPRIATE
ANCHOR BOLT SETTING
PLAN

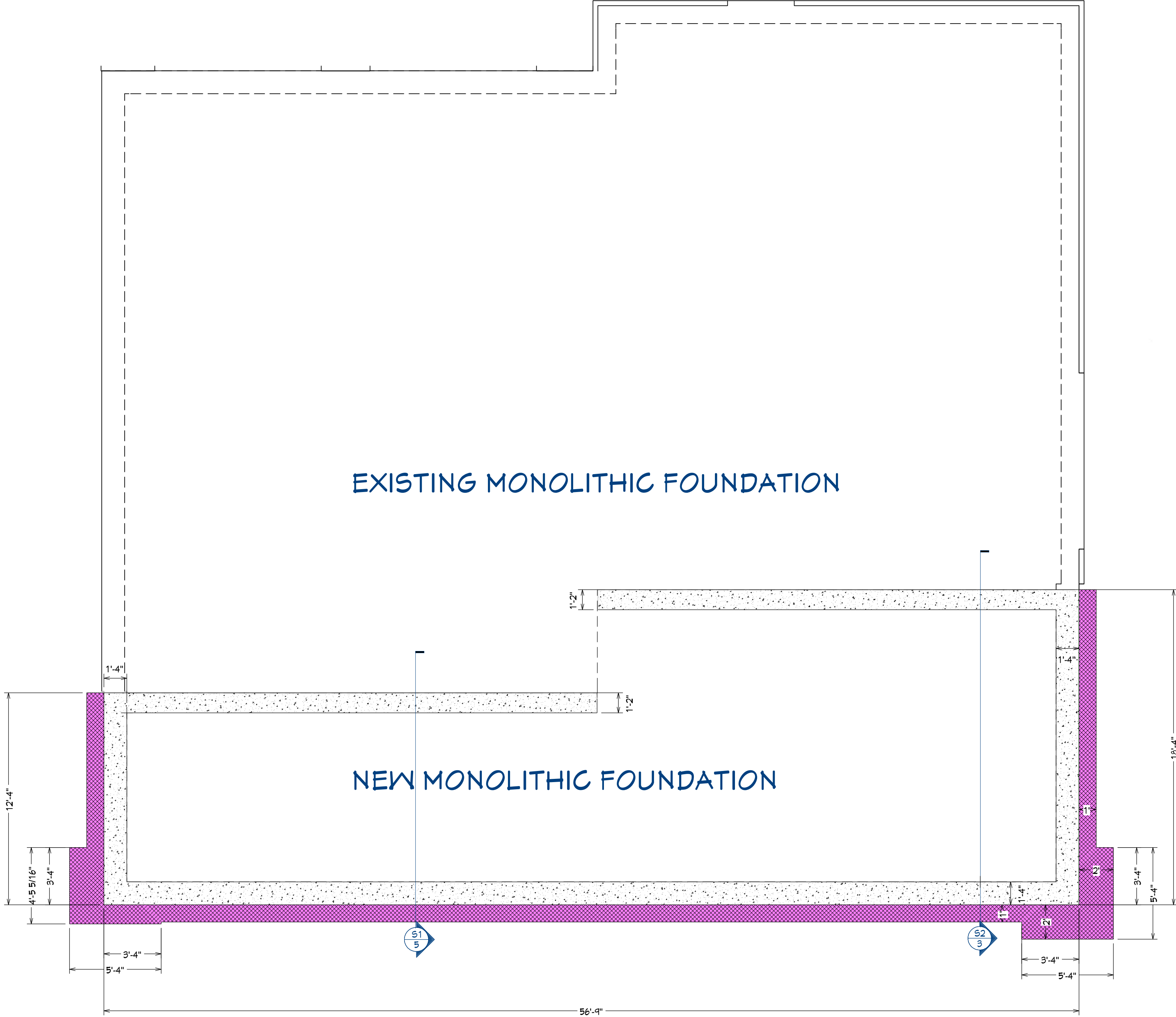
DIAMETER	LENGTH = L
1/2"	9"
3/4"	13 1/2"
1"	18"
1 1/4"	22 1/2"



SECTION 1

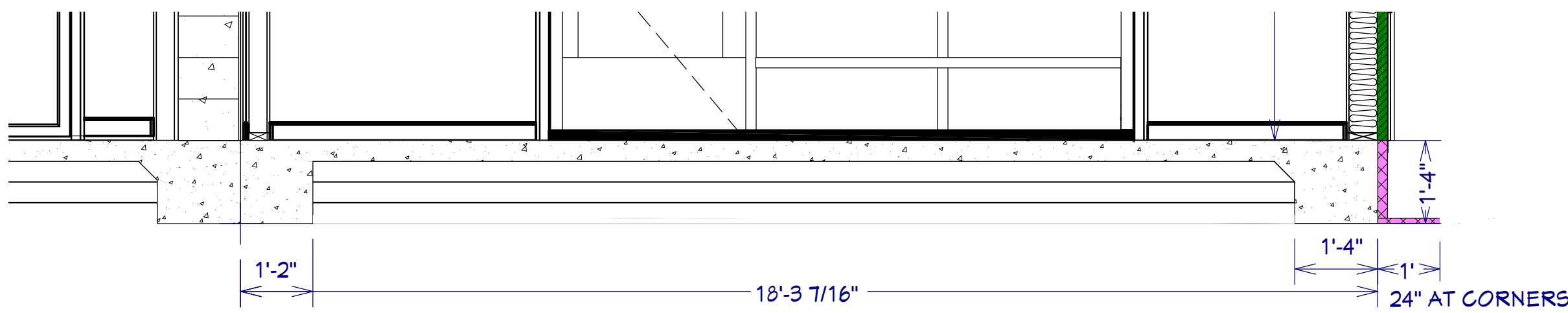
1/2"=1'-0"

DIMENSIONS
ALL DIMENSIONS ARE TO FRAMING
OR CONCRETE FACE.



FOUNDATION PLAN

1/4"=1'-0"



SECTION 2

1/2"=1'-0"

3D VIEWS ARE NOT TO
SCALE AND MAY NOT
REFLECT EXACTLY WHAT IS
AVAILABLE FOR THE
PROJECT. RENDER VIEWS
ARE REPRESENTATIONS OF
WHAT THE VIEW COULD
LOOK LIKE, NOT WHAT IT
WILL LOOK LIKE.
2D VIEWS ALWAYS
SUPERCEDE 3D VIEWS



LICENSE NUMBER:

-

NEW HOME PLANS FOR:

BERG OFFICE ADDITION
129 NORTH MADISON ST.
EVANSVILLE, WI. 53536

CELL PHONE: 608-212-3703

PAGE TITLE:

FOUNDATION PLAN

DRAWN BY:

JMH

DATE:

10/1/2025

SCALE:

1/4" = 1'-0"

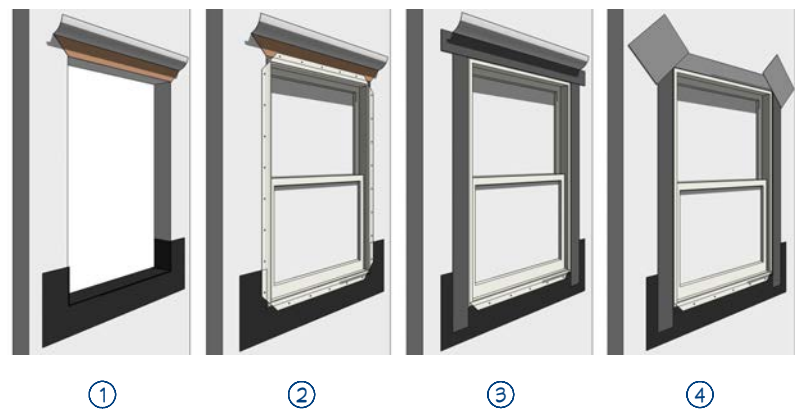
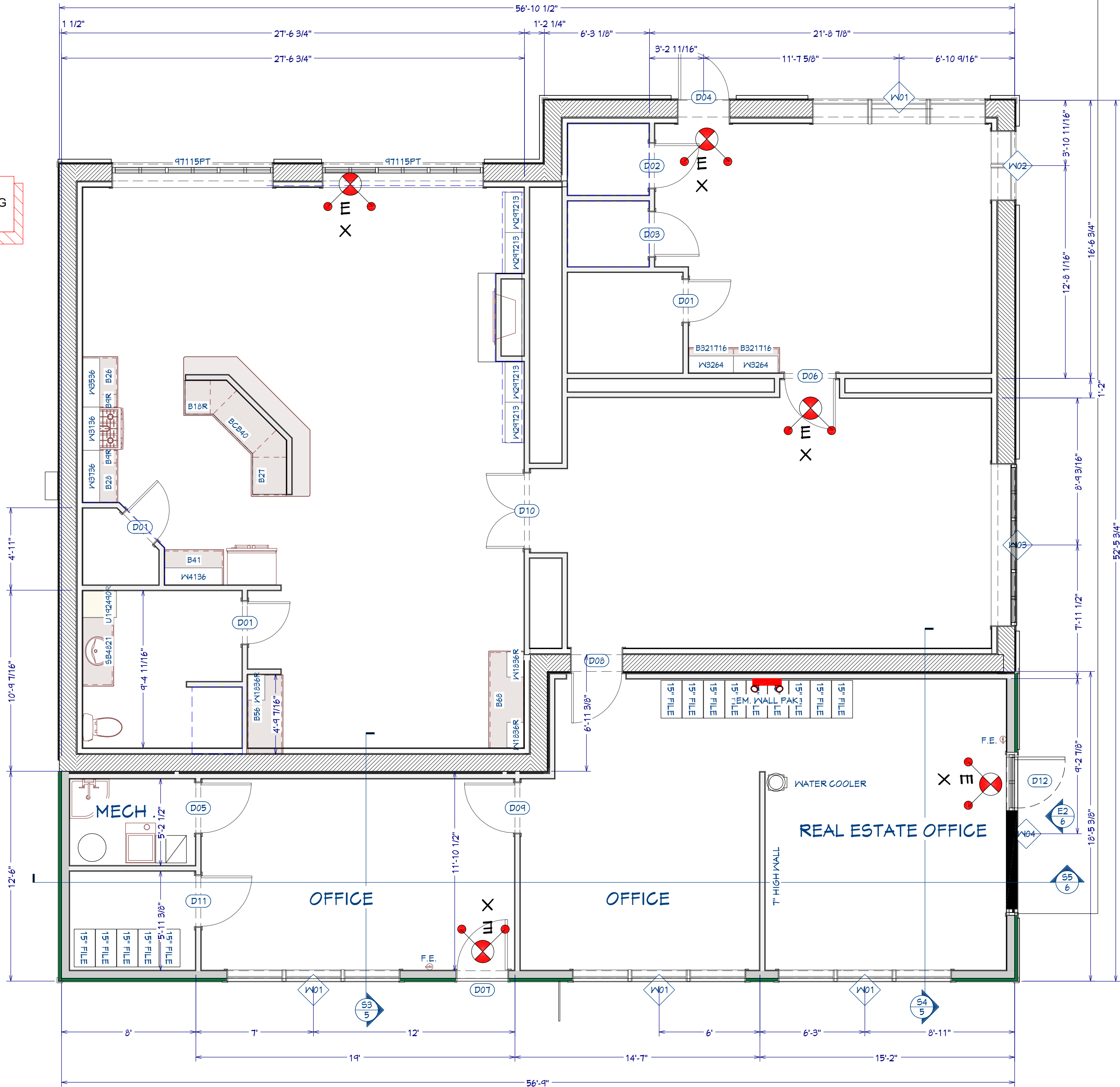
SHEET #:

A3

FRAMING NOTES:

- ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH NO. 2 AND LARGER LUMBER SHALL BE DOUGLAS FIR NO.1 OR BETTER, UNO.
- I-JOISTS AND LVL MEMBERS MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS.
- ALL TRUSSES SHALL BE ENGINEERED AND STAMPED WITH A SEPARATE ENGINEERED DOCUMENT.
- PRE-MANUFACTURED WOOD JOISTS & TRUSSES SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUSS OR JOIST COMPANY. NO MEMBERS SHALL BE MODIFIED AND MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MEMBERS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF THE JOISTS & TRUSSES IN WRITING TO THE CONTRACTOR/ENGINEER. PRE-MANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ENGINEER OR ICBO APPROVED.
- ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS. CONNECT BLOCKING TO TOP OF WALL W/ SIMPSON FRAMING ANCHORS. ROOF JOIST TO HAVE HURRICANE CLIPS @ 48" O.C. OR SIMPSON H-1 HURRICANE CLIPS @ 24" O/C. INSTALL PRIOR TO ROOF SHEETING.
- ALL WOOD & IRON CONNECTIONS MUST CARRY THE CAPACITY OF THE MEMBER. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS. IF OTHER THAN STANDARD CONNECTIONS ARE REQUIRED, CONTACT PROJECT ENGINEER FOR ASSISTANCE. USE SIMPSON OR OTHER ICC LISTED CONNECTIONS.
- ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL.
- NAILS: ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).
- THRUST SHALL BE ELIMINATED BY THE USE OF COLLAR TIES OR CEILING JOISTS, WHERE REQUIRED.
- BEVELED BEARING PLATES ARE REQUIRED AT ALL BEARING POINTS FOR BCI & TJI RAFTERS.
- ALL COLUMNS SHALL EXTEND DOWN THRU THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THAT THEY ARE SUPPORTING.
- ALL EXTERIOR WALLS SHALL BE SHEATHED WITH 1/2" THICK 2-M-V SHEATHING OR EQUAL W/ 3D COMMON NAILS @ 6" O.C. @ EDGES @ 12" O.C. IN FIELD, UNO. SHEATHING SHALL BE CONTINUOUS ACROSS ALL HORIZONTAL FRAMING JOINTS.
- ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. SHEATH ROOF PRIOR TO ANY OVER FRAMING.
- PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNO, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.
- GLULAM BEAMS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, ATTIC 117. EACH MEMBER SHALL BEAR AN ATIC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD.
- GLULAM BEAMS SHALL BE 24F-V4 DF/DF OR EQUAL FOR SIMPLE SPANS, AND 24F-V8 DF/DF FOR CONTINUOUS SPANS.
- "VERSA-LAM" & "MICRO-LAM MEMBERS SHALL BE GRADE 2.0 E.
- ANY WOOD IN CONTACT W/ CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- ALL WOOD & IRON CONNECTORS SHALL BE INSTALLED W/ ALL REQUIRED FASTENERS IN COMPLIANCE W/ THEIR WRITTEN APPROVAL.
- ALL HANGERS TO BE "SIMPSON" OR EQUAL.

DIMENSIONS
ALL DIMENSIONS ARE TO FRAMING
OR CONCRETE FACE.



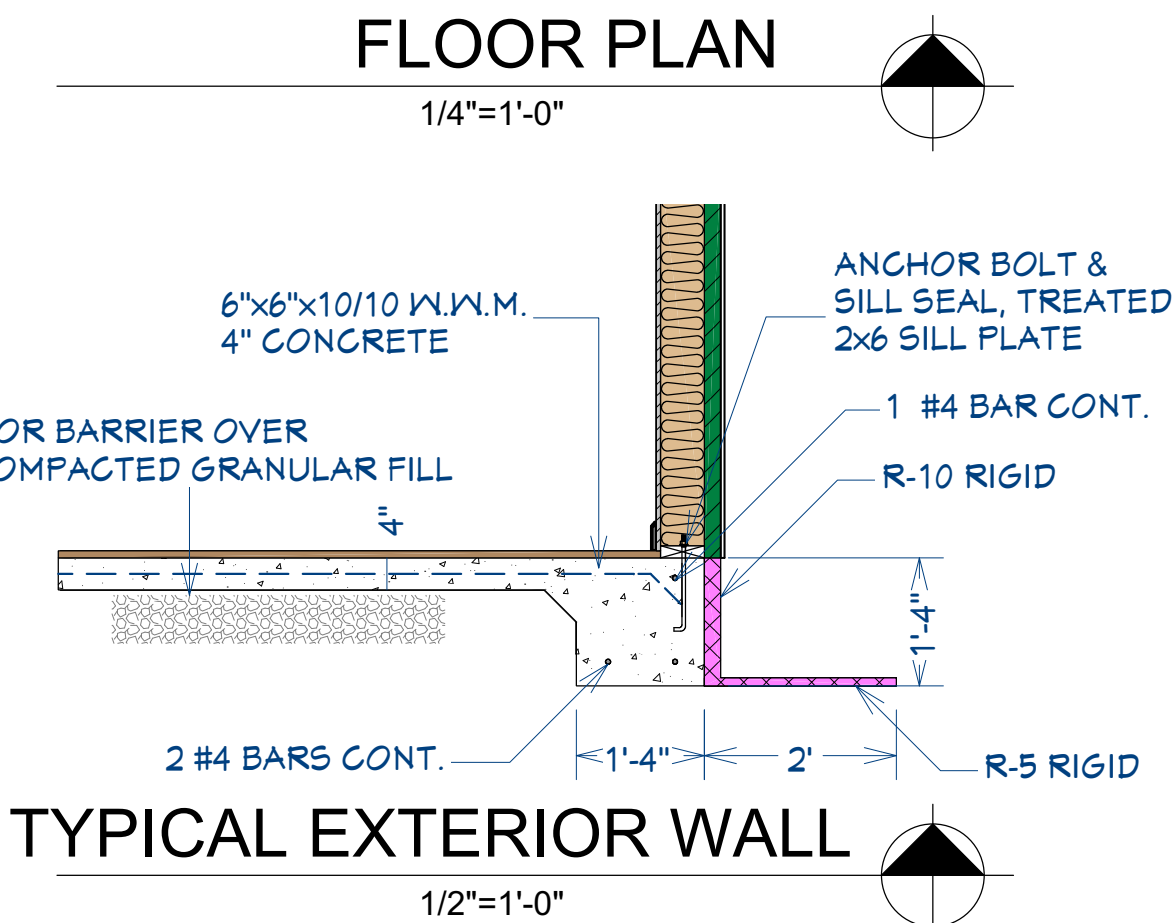
BASIC WINDOW FLASHING INSTALLATION:

- PREPARE ROUGH OPENING: CUT STD. "GUT" IN THE W/RB. CUT (2) 45° SLITS AT TOP TO CREATE FLAP. APPLY FLEXIBLE FLASHING AT SILL + 6" MIN. UP JAMBS. SECURE FLEXED EDGE OF FLASHING WITH MECHANICAL FASTENERS.
- INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS.
- APPLY FLASHING TAPE AT JAMBS, EXTENDING 1" ABOVE AND BELOW WINDOW HEAD FLANGE AND BOTTOM OF SILL FLASHING. APPLY FLASHING TAPE ALONG HEAD, EXTENDING BEYOND OUTER EDGES OF JAMB FLASHING.
- REPLACE W/RB FLAP AT HEAD AND TAPE REMAINING CUTS IN W/RB

REVIEW INSTALLATION PROCESS ACCORDING TO WINDOW MANUFACTURER'S INSTRUCTIONS

Door Schedule						
Number	Qty	Size	Width	Height	Description	Comments
D01	3	2668 L IN	30"	80"	Hinged-Door P04	
D02	1	2868 L IN	31 1/2"	80"	Hinged-Door P04	
D03	1	2868 R IN	31 1/2"	80"	Hinged-Door P04	
D04	1	3068 L EX	36"	80"	Ext. Hinged-Door E01	
D05	1	3068 L IN	36 5/8"	80"	Hinged-Door P04	NEW
D06	1	3068 L IN	36"	80"	Hinged-Door P04	
D07	1	3068 R EX	36"	80"	Ext. Hinged-Door E21	NEW
D08	1	3068 R IN	35 13/16"	80"	Hinged-Door P04	NEW
D09	1	3068 R IN	35 5/8"	80"	Hinged-Door P04	NEW
D10	1	4668 L/R IN	53 1/2"	80"	Double Hinged-Door F01	NEW
D11	1	3068 L IN	36"	80"	Hinged-Door P04	NEW
D12	1	3070 R EX	36"	84"	HINGED STORE FRONT NEW	

Window Schedule						
Number	Qty	Size	Width	Height	Description	Comments
W01	3	10444	123 3/4"	52"	Mulled Unit-HL	NEW UNITS.
W02	1	4244	50"	52"	Mulled Unit-HL	
W03	1	941111FX	116 1/2"	142 1/2"	Fixed Glass	
W04	1	948111FX	116 1/2"	106 7/8"	Fixed Glass	



FLOOR PLAN NOTES:

- ALL EXTERIOR DIMENSIONS ARE TO THE SHEATHING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE FRAMING, ROUGH OPENING.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

3D VIEWS ARE NOT TO SCALE AND MAY NOT REFLECT EXACTLY WHAT IS AVAILABLE FOR THE PROJECT. RENDER VIEWS ARE REPRESENTATIONS OF WHAT THE VIEW COULD LOOK LIKE, NOT WHAT IT WILL LOOK LIKE. 2D VIEWS ALWAYS SUPERCEDE 3D VIEWS



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CELL PHONE: 608-212-3703

PAGE TITLE:

FLOOR PLAN

DRAWN BY:

JMH

DATE:

10/1/2025

SCALE:

1/4" = 1'0"

SHEET #:

A4

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PAGE TITLE:

SECTION 3 & 4

DRAWN BY:

JMH

DATE:

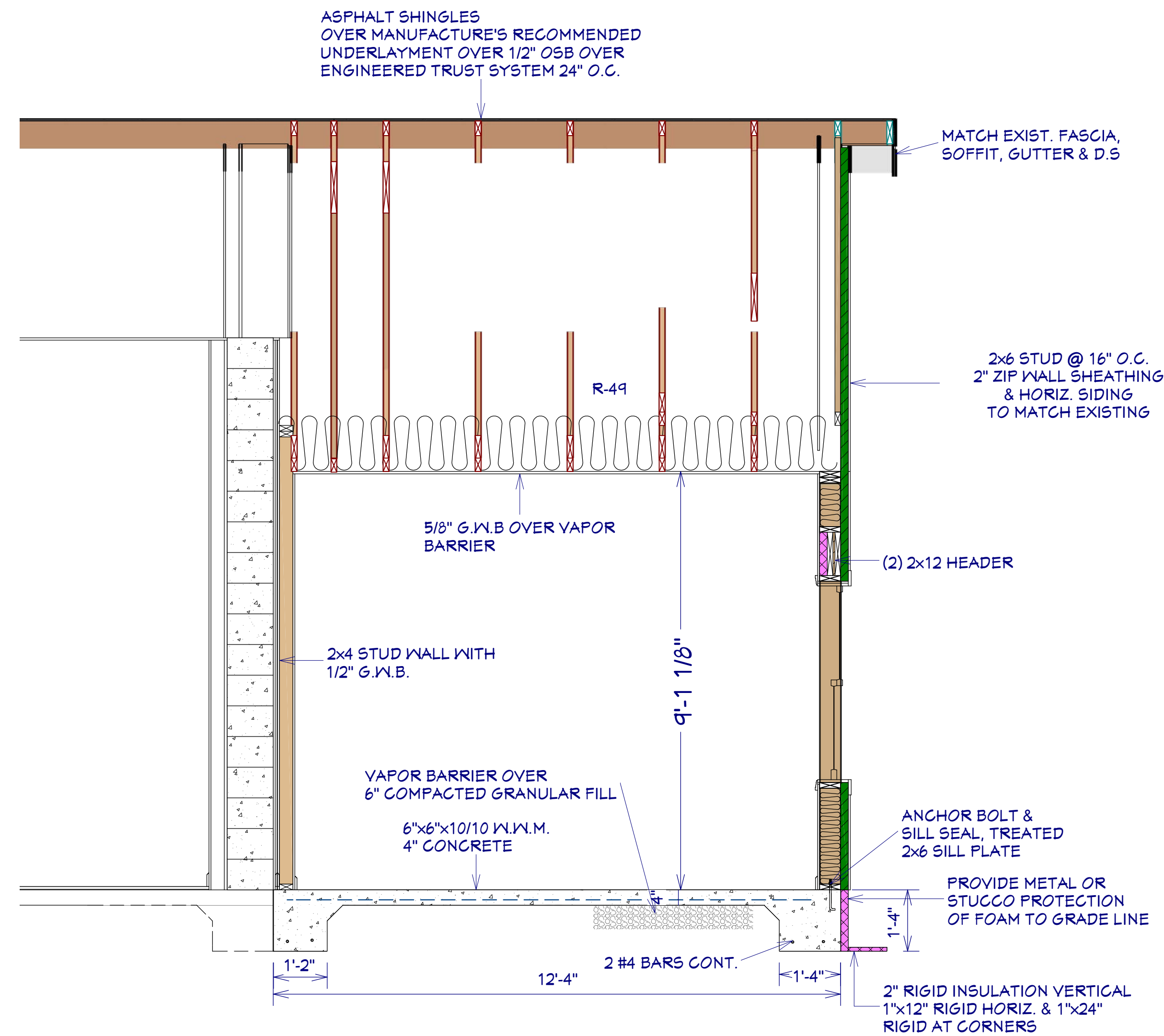
10/1/2025

SCALE:

1/2"=1'-0"

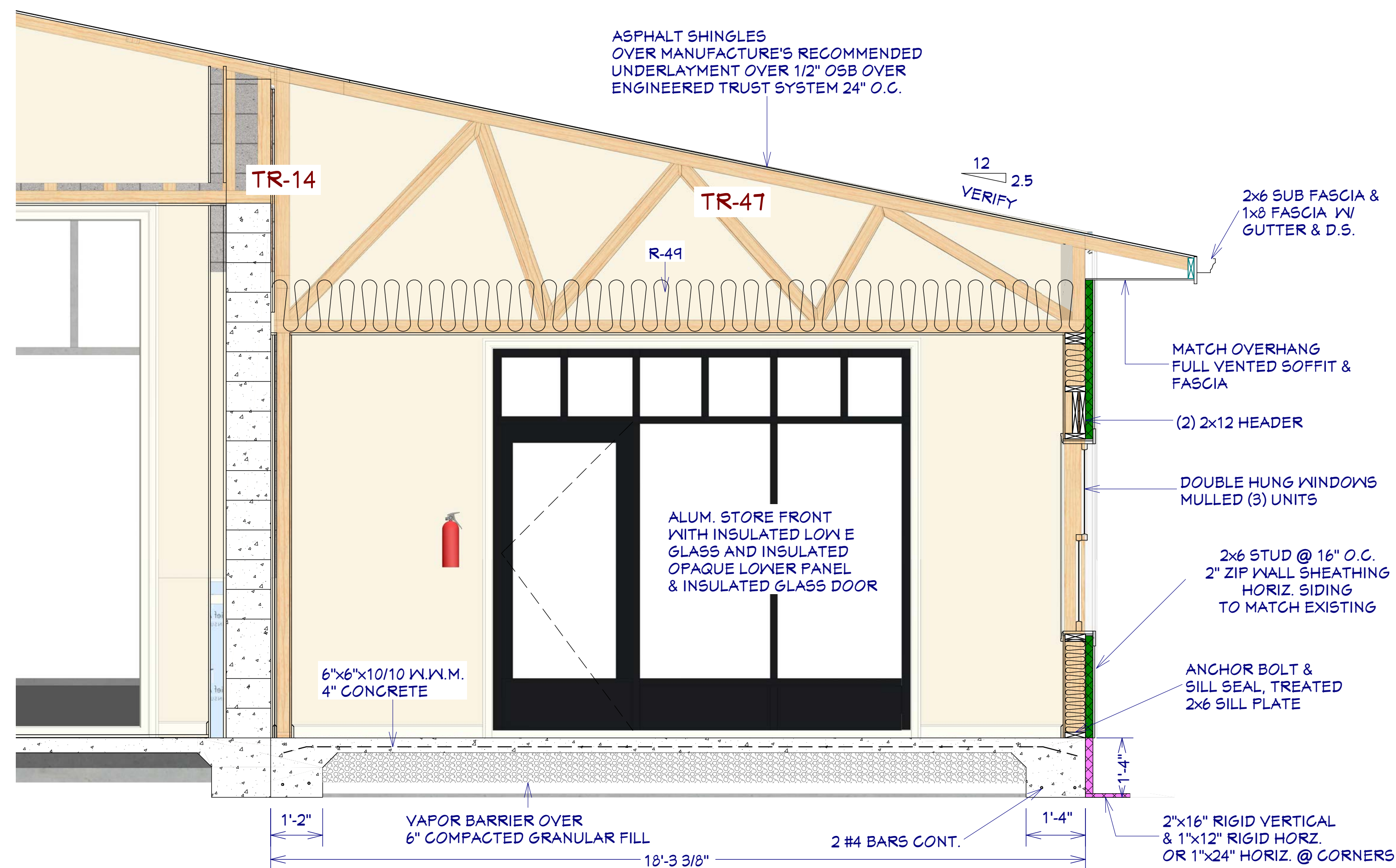
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A5



SECTION 3

1/2"=1'-0"



SECTION 4

1/2"=1'-0"

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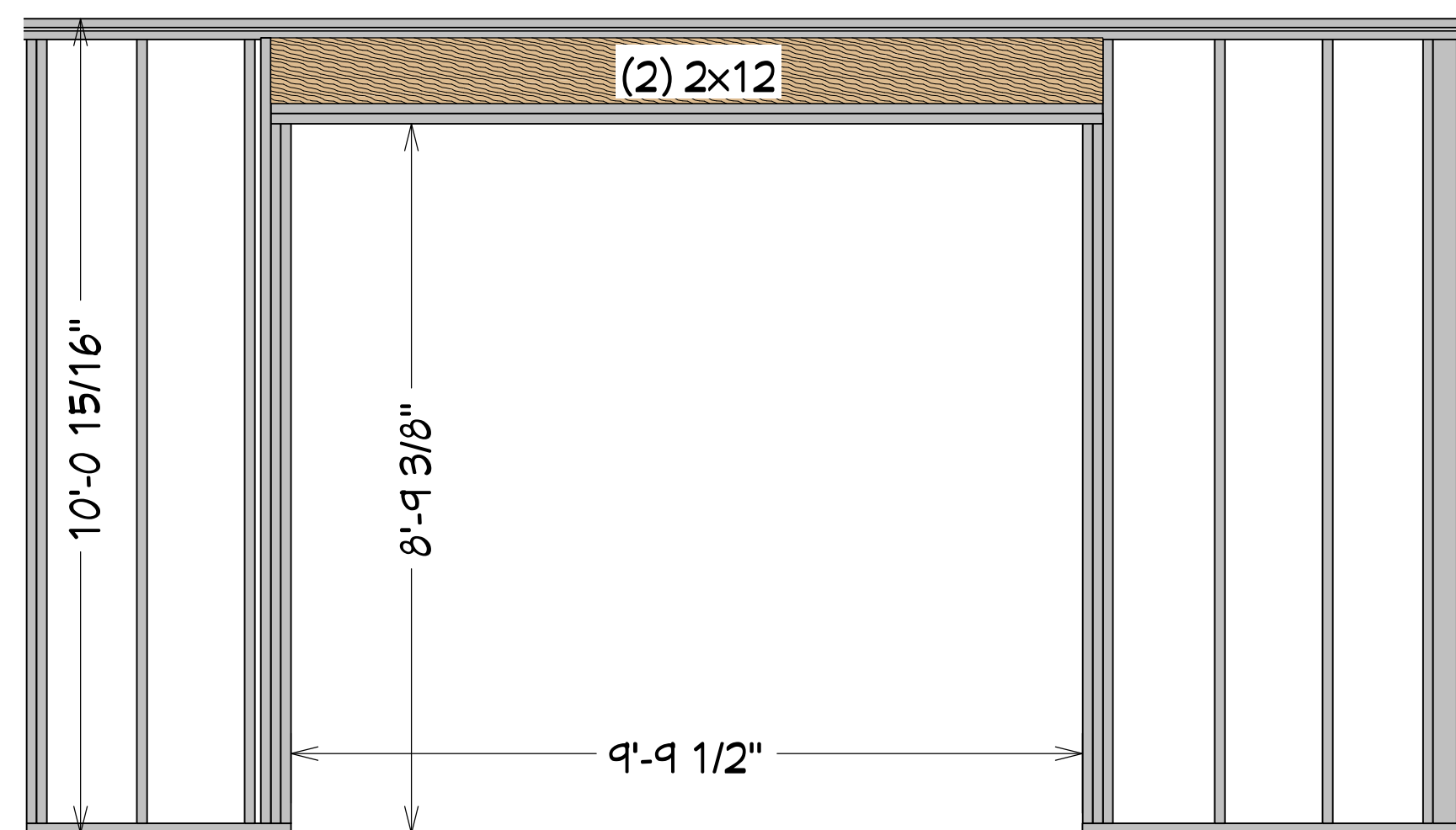
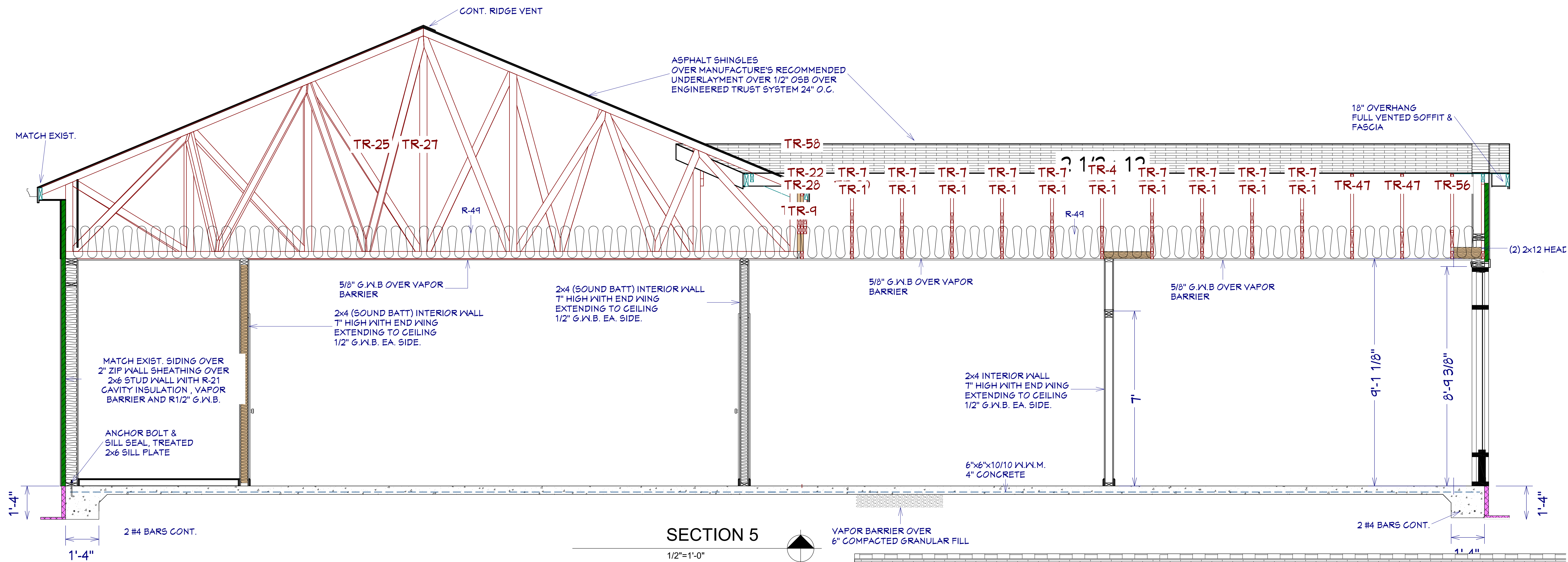
PAGE TITLE:
SECTION 5 & DETAILS

DRAWN BY:
JMH

DATE:
10/1/2025

SCALE:
1/2" = 1'-0"

SHEET #:
A6



Wall Layer 4 - Viewed From Outside
WALL 1 FRAMING



WALL ELEVATION 1

DIMENSIONS
ALL DIMENSIONS ARE TO FRAMING
OR CONCRETE FACE.

WINDOW NOTES:

- 1 WOOD WINDOWS WITH GLAD EXTERIOR SEE ENERGY RATINGS
- 2 INTERIOR WINDOW MATERIALS: VERIFY WITH OWNER
- 3 WINDOW HARDWARE TO BE OWNER SELECTED AT TIME OF ORDER
- 4 WINDOW ROUGH OPENING: 1/2" FOR TOP/ BOTTOM & 1/2" FOR SIDES, UNO BY MFG
- 5 BEDROOM WINDOWS SILL FINISHED MUST BE WITHIN 44" OF THE FLOOR AND PROVIDE MINIMUM CLEAR OPENINGS OF 5.7 SQ. FEET WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20" - HRC R310.1-R310.1.4

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ROOF PLAN & FRAMING

DRAWN BY:

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DATE:

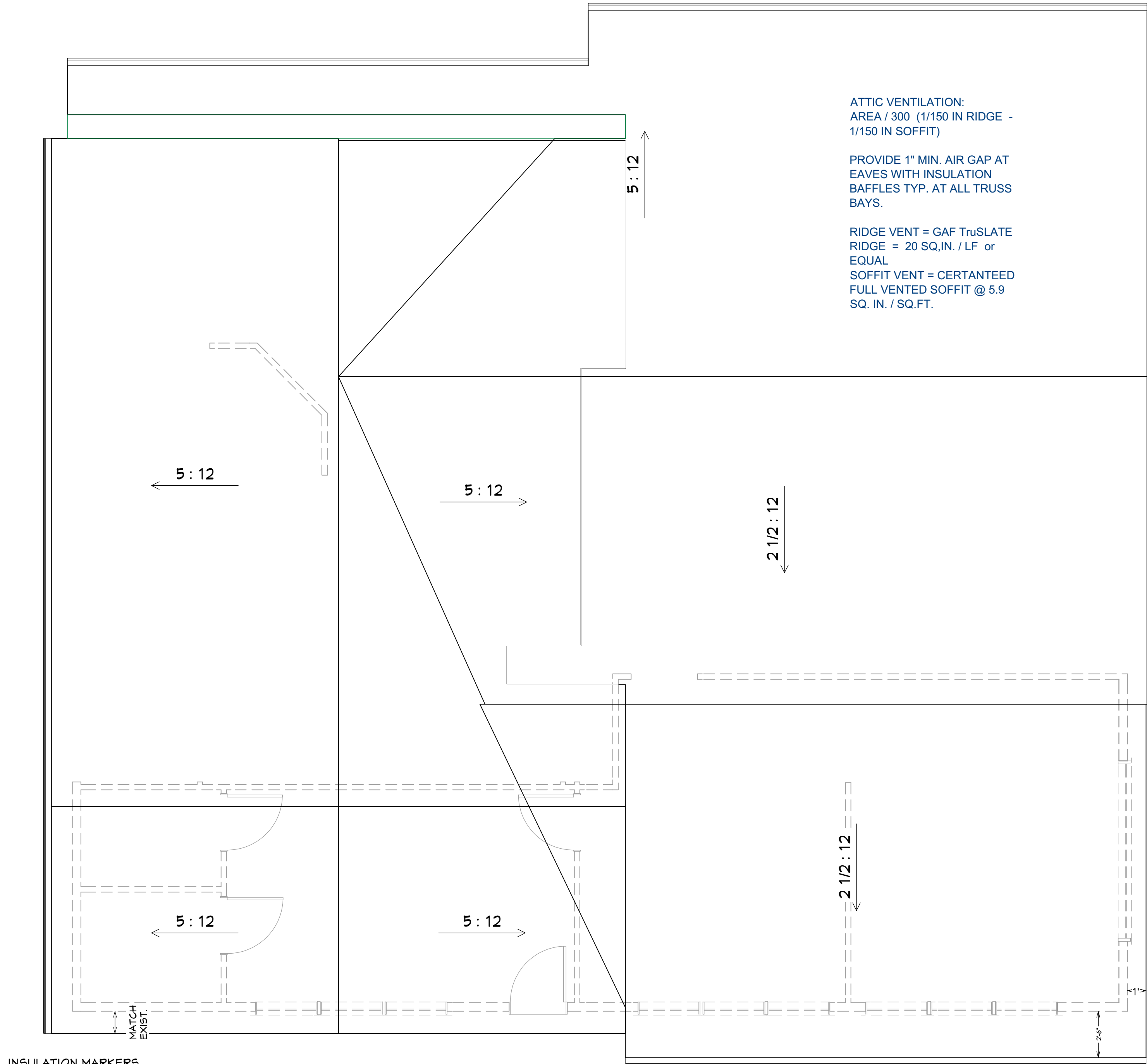
10/1/2025

SCALE:

1/4" = 1'-0"

SHEET #:

A7

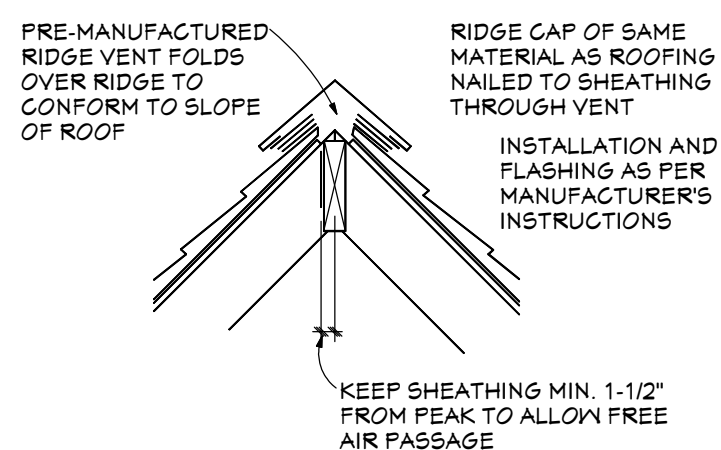


INSULATION MARKERS
INSTALL INSULATION MARKERS EVERY 300 S.F. THROUGHOUT THE ATTIC SPACE. MARKERS SHOULD BE ATTACHED TO TRUSSES OR JOIST AND MARKED WITH THE MINIMUM INSTALLED THICKNESS WITH NUMBER NOT LESS THAN 1 IN HT. EACH MARKER SHALL BE READ FROM THE ATTIC OPENING. SPRAY POLYURETHANE FOAM THICKNESS AND INSTALLED R-VALUE SHALL BE LISTED ON THE CERTIFICATION PROVIDED BY THE INSULATION INSTALLER.

ROOF PLAN

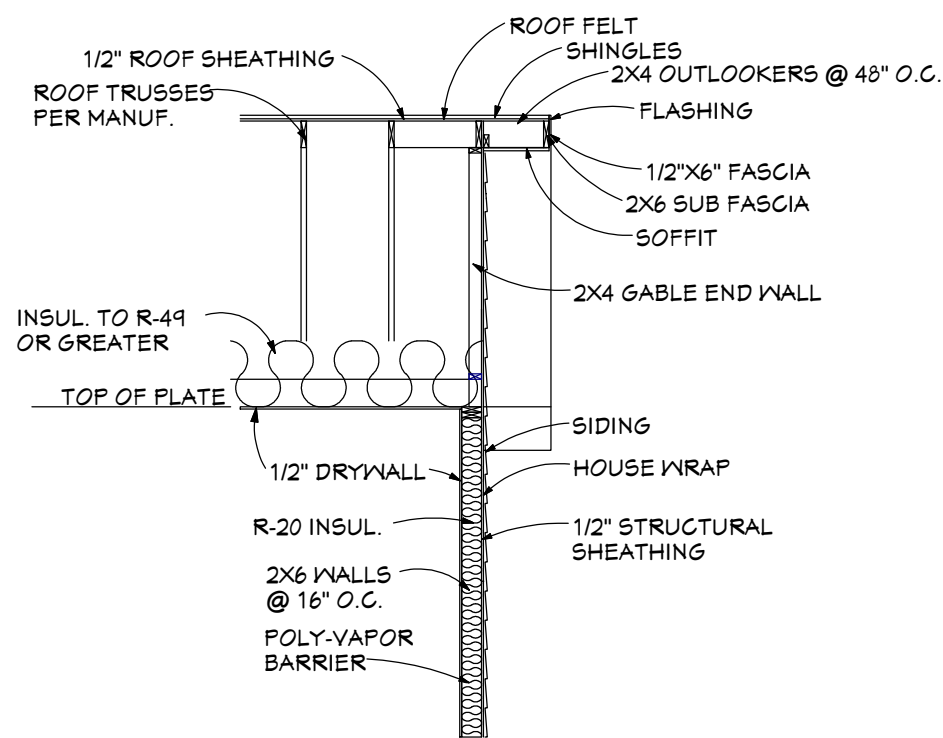
1/4"=1'-0"

1. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.
2. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS.
3. ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.
4. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
5. NON BEARING WALLS SHOULD BE HELD DOWN FROM THE TRUSS BOTTOM CHORD W/ SIMPSON STC TO INSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL.
6. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURE.
7. ALL ROOF FRAMING 24" O.C.
8. ALL ROOF PITCH 12:12
9. SCISSORS TRUSS CEILING PITCH 8:12.
10. TRUSSES MANUFACTURED BY NELSON TRUSS
11. ALL OVERHANGS TO MATCH EXISTING



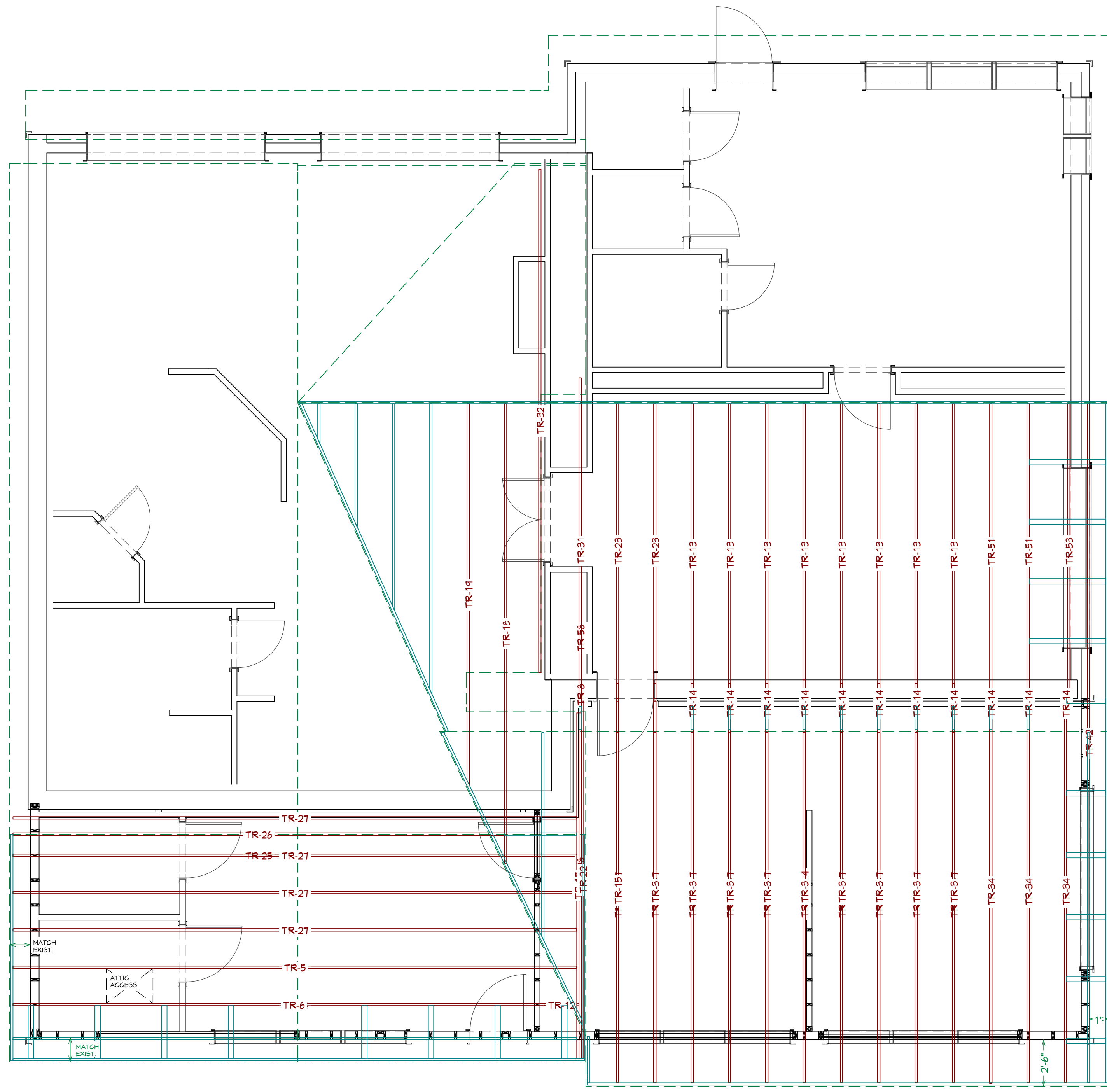
RIDGE VENT DETAIL

SCALE 1" = 1'-0"



GABLE END DETAIL

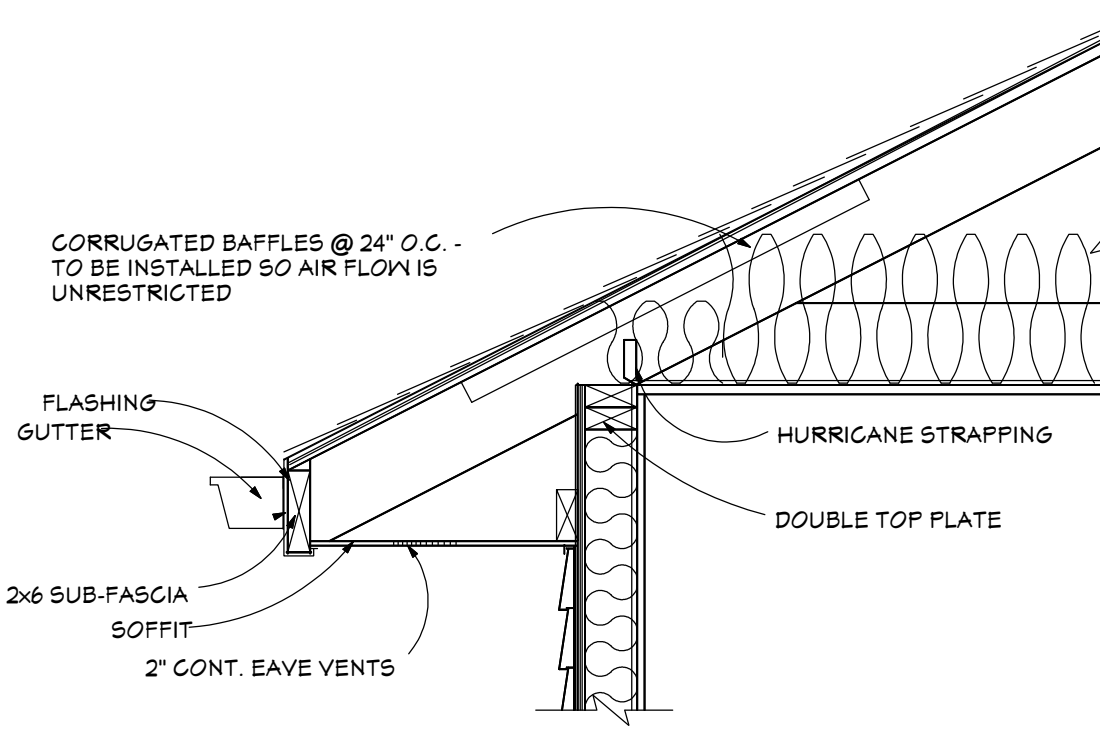
SCALE 1" = 1'-0"



ROOF FRAMING

1/4"=1'-0"

FRAMING SHOWN IS FOR ILLUSTRATION ONLY. ALL FLOOR JOISTS (TRUSSES) & ROOF FRAMING (TRUSSES) ARE TO BE DESIGNED BY OTHERS AND "SEALED" BY LICENSED WIS. ENGINEER



EAVE VENT DETAIL

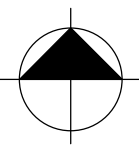
SCALE 1" = 1'-0"

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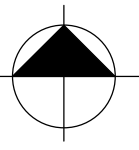
EAST ELEVATION

1/4"=1'-0"



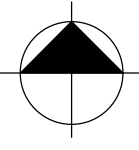
SOUTH ELEVATION

1/4"=1'-0"



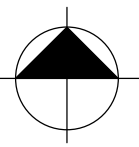
NORTH ELEVATION

1/4"=1'-0"



WEST ELEVATION

1/4"=1'-0"



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PAGE TITLE:

ELEVATIONS

DRAWN BY:

JMH

DATE:

10/1/2025

SCALE:

1/4"=1'-0"

SHEET #:

A8



APPLICATION FOR CONDITIONAL USE PERMIT – STAFF REPORT

Application: CUP-2025-04

Applicant: AMNJ Enterprises /Domino's Pizza

6-27-958.091A2

November 4th, 2025

Prepared by: Colette Spranger, Community Development Director

Direct questions and comments to: C.spranger@evansvillewi.gov or **608-882-2263**

Location: 803 Brown School Road

Description of request: The applicant is requesting to operate a Domino's Pizza franchise. The applicant is seeking conditional use permit approval to allow an Indoor Commercial Entertainment use on parcel 6-27-958.091A2 within the B-4 zoning district, addressed at 803 Brown School Road.

Existing/Prior Uses: This location was most recently used as a hair salon.

Staff Analysis of Request:

The applicant intends to run a pick-up/delivery pizza restaurant. This is a conditional use in the B-4 Regional Business District. There are no plans at this time to have sit-down service. The B-4 zoning district allows for a wide variety of retail uses, geared toward businesses designed to serve the region. This is an appropriate use for Brown School Plaza. To the best of staff's knowledge, there has not been a restaurant in this location.

A sign permit has been applied for and approved for this unit.

The only quirk of this application would be the posted hours. The applicant intends to operate until 12:00AM Sunday through Thursday and until 1:00AM on Friday and Saturday. This is later than most other restaurants in the City that do not serve alcohol. For comparison, McDonald's is only open until 10PM, Subway until 9:30PM, and Culvers until 10PM. The City does not enforce business hours in the B-4 zoning district as it does in the B-1 zoning district, which is the only business district in the City with enforceable hours.

Staff reached out to Police, EMS, and the Fire District for comments and to address any concerns they may have with the proposed hours of operation. Fire had no comments, and Police and EMS did not think the late hours would pose an issue to public safety, especially considering the establishment won't serve alcohol or be serving patrons on site.

The applicant states they would have to ask the Dominos corporation for a variance to adjust their hours. Domino's locations in Janesville both keep the same late nights.

Staff suggests a condition on the application that hours may be adjusted if the late hours cause issues that attract either the police department or EMS.

Required Plan Commission findings for Conditional Use Permit request: Section 130-104(3) of the Municipal Code, includes criteria that should be considered in making this decision:

1. **Consistency of the use with the comprehensive plan.** The proposed use in general and in this specific location is consistent with the city's comprehensive plan of September 2023.
Staff Comment: Policies in the Comprehensive Plan provide support for new business expansion into Evansville.
2. **Consistency with the City's zoning code, or any other plan, program, or ordinance.** The proposed use in general and in this specific location is consistent with City's zoning code, or any other plan, program, or ordinance, whether adopted or under consideration pursuant to official notice of the city.
Staff comment: The proposed use is consistent with the City's zoning code and other plans, programs, and ordinances.
3. **Effect on nearby property.** The use will not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the City's zoning code, the comprehensive plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the city.
Staff Comment: The applicant states that the business hours will be Sunday through Thursday, 10:00AM to 12:00AM and Friday and Saturday 10:00AM to 1:00AM
4. **Appropriateness of use.** The use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
Staff Comment: The location is oriented towards businesses such as these.
5. **Utilities and public services.** The use will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by the City or any other public agency serving the subject property.
Staff Comment: the property is currently served by public utilities

Required Plan Commission conclusion: Section 130-104(3)(f) of the Municipal Code requires the Plan Commission to determine whether the potential public benefits of the conditional use do or do not outweigh any and all potential adverse impacts. The proposed motion below states that benefits do in fact outweigh any and all potential adverse impacts.

Staff recommended motion for Plan Commission: *Motion to approve a Conditional Use Permit for Indoor Commercial Entertainment per section 130-408 on parcel 6-27-958.091A2 located at 803 Brown School Road, finding that the benefits of the use outweigh any potential adverse impacts, and that the proposed use is consistent with the required standards and criteria for issuance of a CUP set forth in Section 130-104(3)(a) through (e) of the Zoning Ordinance, subject to the following conditions:*

- 1) *The business operator shall obtain and maintain all City, state, and county permits and licenses as may be required.*
- 2) *Any substantial changes to the business model shall require a review of the existing conditional use permit.*
- 3) *Use cannot create a public nuisance as defined by local and state law.*
- 4) *Applicant may be asked to return to Plan Commission to adjust hours of operation if the late hours of operation create a nuisance or similar issue.*
- 5) *The Conditional Use Permit is recorded with the Rock County Register of Deeds.*



APPLICATION FOR PRELIMINARY AND FINAL DIVISION - STAFF REPORT

Application: LD-2025-08

Applicant: Grove Homes LLC

Parcel 6-27-396.207A

November 4th, 2025

Prepared by: Colette Spranger, Community Development Director

Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263



Figure 1 Approximate Location Map

Location: 261/265 N Fourth Steet

Description of request: An application has been made to divide the lot along the shared wall of the duplex that is already built.

Existing Uses: The existing 220,511 square foot parcel has a duplex under construction. In order for the landowner to sell each unit separately, the units must be legally divided. This requires a Certified Survey Map.

Existing Zoning: R-2 Residential District Two

Proposed Land Division: The CSM will divide the parcel into two lots, using the common wall of the building as a lot line. This kind of land division is commonly referred to as a zero lot line CSM. Lot 1 is proposed to be 9,097 square feet (0.21 acres) and will include the dwelling unit with the address of 265 North Fourth Street. Lot 2 will contain the remaining 11,414 square feet (0.26 acres) and the dwelling unit addressed at 261 North Fourth Street. A joint cross access and maintenance agreement per Section 130-323(5) of the Municipal Code will be required once the new lots are recorded.

Per City staff review, this land division is occurring in an existing subdivision for an approved and permitted use and will not generate a need for future infrastructure or negatively impact existing infrastructure.

Consistency with the City of Evansville Comprehensive Plan and Municipal Code: The proposed land division and land uses are thoroughly consistent with the Future Land Use Map of the Comprehensive Plan. The proposal complies with the design standards and environmental considerations as set forth in the Land Division and Zoning Ordinances.

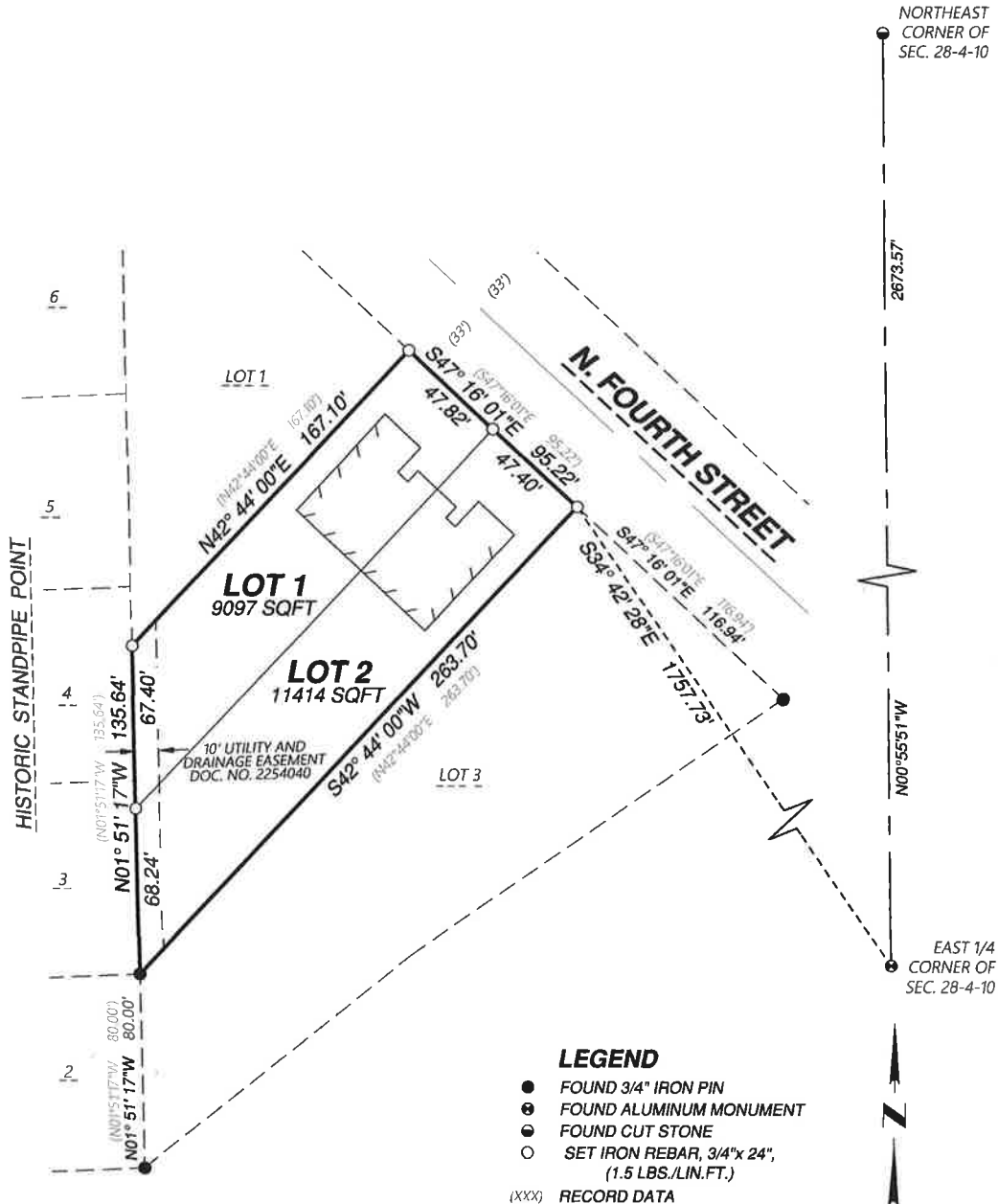
Staff Recommended Motion:

Motion to recommend Common Council approve a certified survey map to divide parcel 6-27-396.207A into two lots for a two-family twin residence addressed at 261 and 265 North Fourth Street, finding that the application is in the public interest and meets the objectives contained within Section 110-102(g) of city ordinances, with the following conditions:

- 1. The final CSM is recorded with Rock County Register of Deeds.***
- 2. The applicant records a joint cross access and maintenance agreement for each of the new lots made by CSM.***

CERTIFIED SURVEY MAP

OF LOT 2 OF CERTIFIED SURVEY MAP NUMBER 42-311 RECORDED AS DOCUMENT NUMBER 2267635 SITUATED IN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER SECTION 28, T.4N., R.10E., OF THE 4TH PM, CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN.



LEGEND

- FOUND 3/4" IRON PIN
- ⊙ FOUND ALUMINUM MONUMENT
- FOUND CUT STONE
- SET IRON REBAR, 3/4"x 24", (1.5 LBS./LIN.FT.)
- (XXX) RECORD DATA

NOTES:

FIELDWORK COMPLETED SEPTEMBER 8, 2025.

THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS, RECORDED AND UNRECORDED.

BEARINGS BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM, ROCK COUNTY. THE EAST LINE OF THE NORTHEAST QUARTER SEC. 28-4-10 BEARS N00°55'51"W.

DISTANCE UNITS BASED ON THE US SURVEY FOOT.

Project No. 125 - 341

For: GROVE HOMES, LLC

GRAPHIC SCALE: 1" = 60'



Combs & Associates

109 W. MILWAUKEE ST
JANESVILLE, WI 53548
www.combsurvey.com

- LAND SURVEYING
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tel: 608-752-0575
fax: 608-752-0534



APPLICATION FOR REZONE – STAFF REPORT

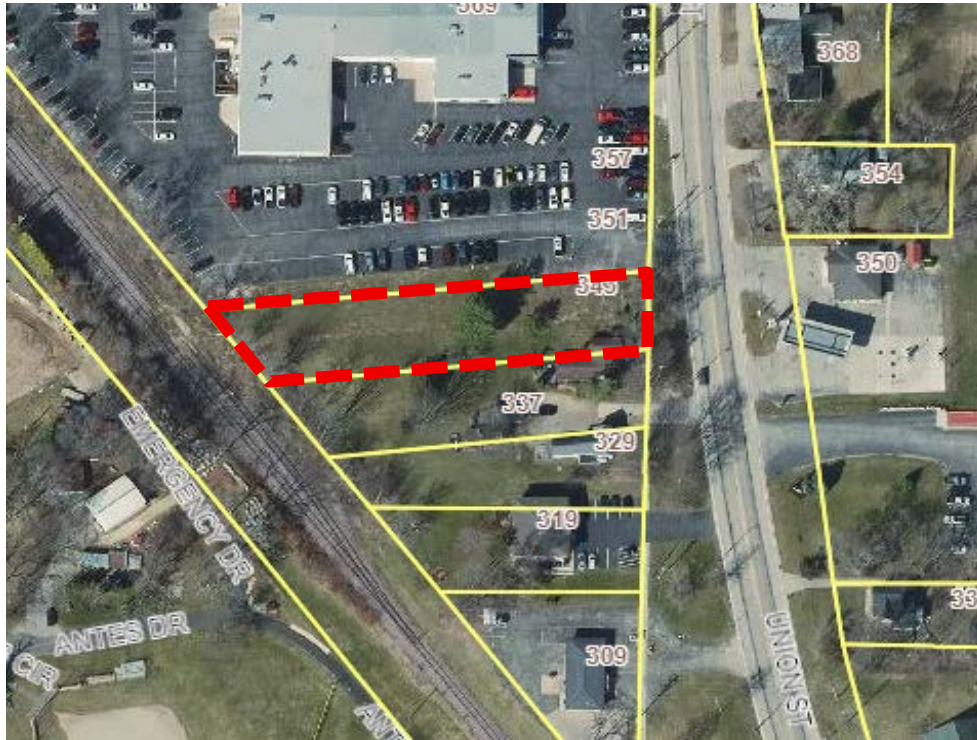
Application No.: RZ-2025-06

Applicant: Symdon Chevrolet

Parcels: 6-27-843

November 4th, 2025

Prepared by: Colette Spranger, Community Development Director
Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263



Location: 343 Union Street

Description of request: An application to rezone parcel 6-27-843 has been submitted for consideration by the Plan Commission.

Existing Use: Vacant

Existing and Proposed Zoning: The parcel is currently zoned R-1 Residential District One. The applicant proposes B-3 Community Business District.) The proposed new zoning would allow the business to the north to expand its services further south, pending a site plan review.

Consistency with the City of Evansville Comprehensive Plan and Municipal Code: This area is existing land use as depicted on the Comprehensive Plan for this parcel is Walkable Business, which denotes a high quality service businesses designed to be pedestrian friendly. Staff would note there appears to be a discrepancy in the future land use categories, as all of the City's existing non-downtown commercial areas are planned for walkable business, but the implementing zoning districts do not

include the B-3 or B-4 zoning district, which are the primary business districts in use for those areas. B-3 is a suggested implementing zoning district for the Regional Business future land use category described in the text, which does not appear on the actual future land use map. The B-2 zoning district was not created with the intention of being used along US Highway 14, which indicates an oversight. In staff's opinion, the proposed zoning map amendment is thoroughly consistent with the intent of the Future Land Use Map of the Comprehensive Plan.

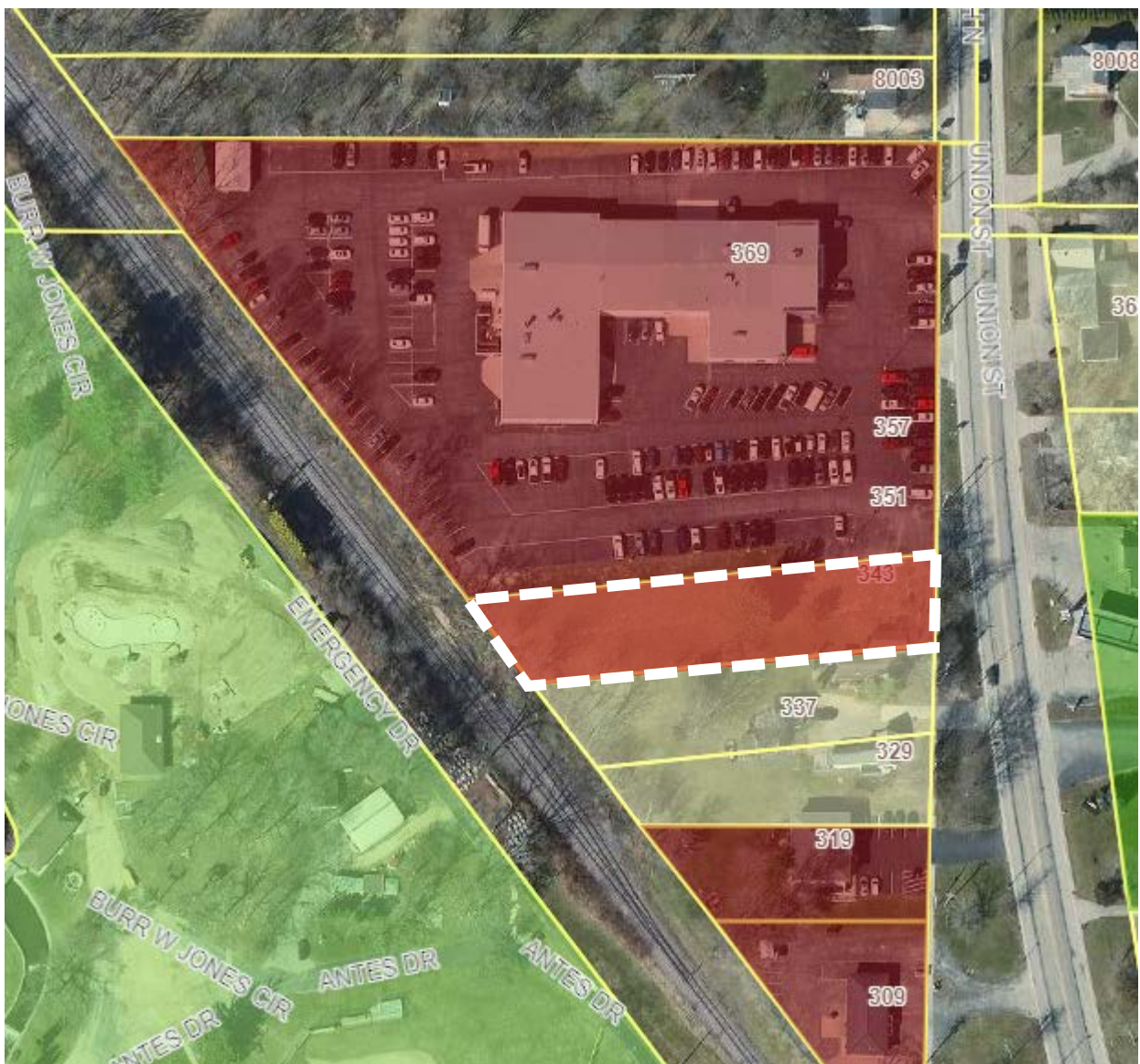
Staff Recommended Motion: *Motion to recommend Common Council approve Ordinance 2025-12, Rezoning Territory from Residential District One (R-1) to Community Business District (B-3).*

CITY OF EVANSVILLE
ORDINANCE # 2025-12

An Ordinance Rezoning Territory from Residential District One (R-1) to Community Business (B-3) for parcel 6-27-843 (343 Union Street)

The Common Council of the City of Evansville, Rock County, Wisconsin, do ordain as follows:

SECTION 1. Zoning Classification. In accordance with Section 130-171 to 130-176, Evansville Municipal Code, Section 62.23(7)(d)2 of the Wisconsin State Statutes and upon recommendation of the Plan Commission and the findings of the Common Council that such zoning district change is in the best interest of the City, and all necessary notices having been given, and the required public hearing having been held, and the Plan Commission having made its recommendation of approval in writing to the Common Council, that the zoning classification of parcel 6-27-843 (343 Union Street) be changed from Residential District One (R-1) to Community Business (B-3) for parcel 6-27-843 (343 Union Street). The area to be rezoned is indicated on the map below:



SECTION 2. Zoning Map Amendment. The official zoning map, City of Evansville, Wisconsin, is hereby amended to show the territory described in Section 1 as Community Business (B-3).

SECTION 3. Severability. If any provision of this Ordinance is invalid or unconstitutional, or if the application of the Ordinance to any person or circumstances is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the other provisions or applications of this Ordinance which can be given effect without the invalid or unconstitutional provision or application.

SECTION 4. Effective Date. This Ordinance shall take effect upon its passage and publication as provided by law.

Passed and adopted this 11th day of November, 2025.

Dianne C. Duggan, Mayor

ATTEST:
Leah L. Hurtley, City Clerk

Introduced: 10/14/2025
Notices published: 10/21/2025, 10/28/2025
Public hearing held: 11/4/2025
Adopted:
Published: (within 10 days of adoption)

Sponsor: This ordinance was initiated by a landowner application for a zoning map amendment.

Drafted on 10/8/2025 by Colette Spranger, Community Development Director