NOTICE

A meeting of the City of Evansville Historic Preservation Commission will be held on the date and at the time stated below. Notice is further given that members of the City Council and the Park Board might be in attendance. Requests for persons with disabilities who need assistance to participate in this meeting should be made by calling City Hall: (608)-882-2266 with as much advance notice as possible. Please silence cell phones and electronic devices during the meeting.

City of Evansville **Historic Preservation Commission**Regular Meeting Wednesday, June 18, 2025 City Hall, 3rd Floor, 31 S Madison St, Evansville, WI 6:00 p.m.

- 1. Call to Order
- 2. Roll Call
- 3. Motion to approve the agenda.
- 4. Motion to waive the reading of the May 21st, 2025 minutes and approve as printed.
- 5. Civility reminder
- 6. Citizen appearances
- 7. Action Items
 - A. 39 W Main Replacement Tiles for Eager Free Public Library (HPC-2025-87)
 - B. 228 Main Street Carport Alongside Garage (HPC-2025-31)
 - C. 345 W Liberty Street Reroof, Replace Gutters, Replace Aluminum Siding, Replace Wood Soffit/Fascia with Aluminum (HPC-2025-32)
 - D. 236 W Church Street Reroof, Replace Gutters, Replace Aluminum Siding with Vinyl (HPC-2025-47)
 - E. 332 W Liberty Reroof, Replace Aluminum Siding with Vinyl, Replace Rear Windows with Same (HPC-2025-79)
 - F. 203 W Main Reroof, Replace Aluminum Siding, Replace Soffit with LP Smart Side (HPC-2025-80)
 - G. 18-20 Montgomery Court Reroof, Replace Gutters and Aluminum Siding (HPC-2025-82)
 - H. 53-55 N Madison Reroof, Replace Gutters and Aluminum Siding (HPC-2025-83)
 - I. 15 Garfield Ave Reroof, Replace Gutters and Aluminum Siding (HPC-2025-84)
 - J. 242 W Church- Reroof, Replace Gutters and Aluminum Siding, Replace Shutters with Wood (HPC-2025-85)

- K. 237 W Main Reroof, Replace Vinyl Siding with Same, Replace front and side porch, construct rear addition (HPC-2025-86)
- 8. Discussion Items
 - A. NAPC Exterior Materials Reading
- 9. Report of the Community Development Director
 - A. Historically Appropriate Materials Letter for Insurance Companies
 - B. Staff Approved Certificates of Appropriateness
 - i. 309 W Main St Replace Siding, Re-Roof, Install Solar (HPC-2025-35)
 - ii. 262 W Church St—Re-roof (HPC-2025-36)
 - iii. 132 Garfield Ave Re-roof, Replace Gutters (HPC-2025-37)
 - iv. 33 N Second St Re-roof, Replace Siding (HPC-2025-38)
 - v. 339 W Liberty St Re-roof, Replace Siding (HPC-2025-39)
 - vi. 53 N Second St– Re-roof, Replace Siding (HPC-2025-40)
 - vii. 214 W Liberty St Re-roof (HPC-2025-41)
 - viii. 288 E Main St –Re-roof (HPC-2025-42)
 - ix. 227 W Church St –Re-roof, Replace Siding (HPC-2025-43)
 - x. 20 S First St– Re-roof (HPC-2025-45)
 - xi. 29 W Liberty St– Re-roof, Repair Siding (HPC-2025-46)
 - xii. 230 W Church St– Re-roof, Replace Siding (HPC-2025-48)
 - xiii. 245 W Church St– Re-roof (HPC-2025-49)
 - xiv. 103 S Madison St—Re-roof, re-build stairs, open porch (HPC-2025-50)
 - xv. 15 W Church St—Re-roof (HPC-51)
 - xvi. 54 N 2nd St—Re-roof, Replace vinyl siding w/Same (HPC-2025-52)
 - xvii. 129 W Church St—Re-roof, Replace vinyl siding w/Same (HPC-2025-53)
 - xviii. 38 W Church St—Re-roof (HPC-2025-54)
 - xix. 120 W Church St—Re-roof, Cedar shingles w/Same, Replace Gutters (HPC-2025-55)
 - xx. 112 Grove St—Re-roof, Window trim repair (HPC-2025-56)
 - xxi. 310 W Church St—Re-roof, Replace vinyl siding w/Same (HPC-2025-57)
 - xxii. 25 S 2nd St—Re-roof, Replace vinyl w/Same (HPC-2025-58)
 - xxiii. 131 Garfield Ave—Re-roof, Gutters (HPC-2025-59)
 - xxiv. 263 W Main St—Re-roof, Gutters (HPC-2025-60)

- xxv. 12-14 E Main St—Re-roof EPDM roof (HPC-2025-61)
- xxvi. 143 W Main St—Re-roof (HPC-2025-62)
- xxvii. 42 W Church St—Re-roof (HPC-2025-63)
- xxviii. 123 S Madison St—Re-roof (HPC-2025-64)
 - xxix. 104 Garfield Ave—Re-roof (HPC-2025-65)
 - xxx. 133 Grove St—Re-roof, Gutters, Repair Windows (HPC-2025-66)
 - xxxi. 239 W Liberty St—Re-roof, Restore wood siding (HPC-2025-67)
- xxxii. 325 W Main St—Re-roof, Gutters (HPC-2025-68)
- xxxiii. 226 W Liberty St—Re-roof, Gutters, Re-side w/Same (HPC-2025-69)
- xxxiv. 115 Garfield Ave—Re-roof, Gutters (HPC-2025-70)
- xxxv. 119 Garfield Ave—Re-roof, Gutters (HPC-2025-71)
- xxxvi. 15 W Main St—Re-room EPDM roof, Gutters (HPC-2025-72)
- xxxvii. 11-13 W Main St—Re-roof EPDM roof, Gutters (HPC-2025-73)
- xxxviii. 18 E Main St—Re-roof EPDM roof, Gutters (HPC-2025-74)
- xxxix. 7E Main St—Re-roof EPDM roof, Gutters (HPC-2025-75)
 - xl. 319 W Main St—Re-roof, Re-side w/Same, Replace Backyard Shed (HPC-2025-76)
- 10. Correspondence, Comments and Concerns
- 11. Next Meeting Date: July 16, 2025, 6:00 p.m.
- 12. Motion to Adjourn.

City of Evansville Historic Preservation Commission Regular Meeting Wednesday, May 21, 2025 at 6:00 p.m. Emma's Table, 104 W Main Street, Evansville, WI 53536

MINUTES

1. Call to Order. Stephans called the meeting to order at 6:00 pm

2. Roll Call:

Members	Present/Absent	Others Present
Chair Dan Stephans	P	Colette Spranger, Community Development Director
Vice-chair Kelly Shannon	P	Jason Sergeant, City Administrator
Vicky Norton	P	Derek Bahr, Ashley Massman, Tanner and
Vacant	-	Logan Wilberding, Gregg Peckham, Steve and
Norman Barker	P	Carol Culbertson, Terry & Debby Jorgensen,
Amy Corridon	P	Ryan Gonwa, Cassie Elmer, Rebecca Ladick
Steve Christens	P	Doug Tessman, Ben Corridon, Marlene Rogers
		Molly & Steve Hicks, Chuck Boyce, Katie
		Sacker, Bob & Karen McCallister, Jim Hurley,
		Gina Haefer, Kurt Grover, Jason Tish, Andrea
		Herries, Nancy Krohn, Thea Hovorka,

- 3. <u>Motion to approve the agenda as written by Norton, second by Shannon. Motion carried unanimously.</u>
- 4. <u>Motion to waive the reading of the minutes from the April 16, 2025 meeting and approve</u> them as printed. Motion by Christens, seconded by Shannon, motion carried unanimously.
- **5.** Civility Reminder. Stephans noted the City's commitment to civil discourse.
- 6. Citizen appearances and Public Presentations.
 - Alan Pitas wanted to know why his application wasn't on that night's agenda. Spranger apologized and noted it was an error.
 - Bill Alt wanted to discuss the vinyl resolution.
 - Carol and Steve Culbertson requesting to put Smart Side on their house and wanted to know if that would be allowed, considering they have original cedar lap board siding. Commissioners noted that the Secretary of Interior's standards stipulate that original material must be rehabilitated when possible before an alternative material is considered.
 - Thea Hovorka Wanted to know what the process was to abate lead-based paint on the exterior of historic homes. Spranger replied that typically such projects were done

- by abatement professionals and that siding replacements were dependent on circumstances.
- Chris Eager Wanted to know if restoring his wood siding was permissible and the status of his application.

Spranger spoke to the audience about the current review process for applications within the historic district. Work that repaired or restored features using the same material, or ones that restore original material, are being approved administratively and do not to go before the commission for approval. If applications fall under this category, applicants can expect a building permit within 7 days. She noted that the amount of building permits received have been significant and delays were possible, depending on the workload.

- Nancy Krohn asked if homeowners need to follow historic district rules if their building is "not historic." Spranger replied that if one's home is within the boundaries of the historic district, then review by the historic preservation commission is warranted.
- Richard McGaw wanted to know why if his neighbors have vinyl siding, and his garage has vinyl siding, why can't he cover his house with vinyl siding.
- A representative from the Exteriors Company noted that property mitigating lead
 paint is an expensive process if it involves scraping the paint, which might make the
 problem worse.
- Dylan Morgan expressed dismay that the materials standards of the historic district may price him out of reminding at his current property.
- Ashley Massman noted that stricter materials requirements might deter some homeowners from doing any maintenance at all, which could lead to further deterioration of historic properties.

7. Applications – Action Items:

A. Discussion and Motion to Pass Historic Preservation Commission Resolution 2025-01: No New Vinyl Siding

The commissioners discussed the content of the proposed resolution and debated the merits and risks associated with a blanket ban to vinyl siding for all applications. Stephans and Christens both expressed support, noting that the resolution would reinforce the Commission's stance on the use of vinyl, which has generally been to discourage. Barker expressed concern about the resolutions and noted he was more comfortable to review applications on a case-by-case basis.

Motion to approve by Christens, second by Norton. 3 yea, 3 nay. Motion failed.

B. 33 N Second – Demo Garage and Build New Garage (HPC-2025-08 and HPC-2025-09) Steven and Molly Hicks came with finalized plans for a new 3-car garage to replace their old one car garage with a carport. Siding will be vinyl and shingles will be asphalt to match house. Roof pitch has been adjusted to be more in line with neighboring properties. Garage will be

further centered on property but still recessed behind the house. Next steps, if approved tonight, will include approval at Plan Commission.

Motion to approve by Barker, second by Shannon. Motion carried unanimously.

Commissioner Christens left the meeting.

C. 103 Grove Street – Reroof, Replace Aluminum Siding (HPC-2025-29)

Nancy Krohn is petitioning to replace her aluminum siding on her house addition that sites above the garage. The siding is damaged by hail and is faded on the side that receives more sun exposure. The addition was put on the house in the 1970s. Insurance is not covering alternative material replacement.

Motion to approve by Barker, second by Corridon. Motion carried unanimously.

D. 129 W Church – <u>Carport</u> alongside garage (HPC-2025-30)

Doug Tessman requests a carport alongside his garage, accessed by the alleyway between Church and Liberty streets. Commission has approved carports of his style in other locations. *Motion to approve by Norton, second by Shannon. Motion carried unanimously.*

E. 345 W Liberty Street – Reroof, Replace Gutters, <u>Replace Aluminum Siding</u> (HPC-2025-32)

Applicant not present.

Motion to table by Stephans, second by Norton. Motion carried unanimously.

F. 117 N Madison – Reroof, Replace Aluminum Siding (HPC-2025-33)

Terry Jorgensen requests to replace the broken aluminum siding at his rental property. Insurance is not covering alternative material replacement. While the house is in the historic district, it does not have a listing on the state Architecture and History Inventory, which typically has a listing for properties within Evansville's Historic District.

Motion to approve by Barker, second by Shannon. Motion carried unanimously.

G. 25 N Second – Repair roof, siding, gutters with same material; <u>new chain link fence in</u> backyard (HPC-2025-34)

Katie Sacker requests to install a new, galvanized chain link fence in her backyard. Other items on her application are like-for-like requests; no discussion was needed. Commission noted that previous chain link fence approvals had been for black fences. Sacker would like to connect to her neighbor's fence, which is also galvanized steel and unpainted. The fence is largely not visible from the sidewalk.

Motion to approve by Corridon, second by Shannon. Motion carried unanimously.

8. Discussion Item

A. Presentation from Jason Tish and Andrea Herries from the State Historic Preservation Office.

Mr. Tish and Ms. Herries spoke about the historic tax credit program that is available to homeowners. Key points include: project costs must at least be \$10,000 and the eligible credit is capped at \$10,000, meaning that projects costing more than \$40,000 are recommended to be broken over 2 years, if possible, in order to maximize the credit. Insurance funds cannot be used to reach the \$10,000 minimum project costs. Projects receiving state historic tax credits are contingent of state approval of appropriate building materials. More information is available at the historical society's website

(<u>https://www.wisconsinhistory.org/Records/Article/CS3942</u>) or by calling Andrea directly at 608-264-6490.

9. Report of the Community Development Director

A. Staff Approved Certificates of Appropriateness

- i. Historically Appropriate Materials Letter for Insurance Companies
- ii. Staff Approved Certificates of Appropriateness
 - **A.** 31 Mill Street New Wood Picket Fence (HPC-2025-14)
 - **B.** 40 W Liberty Insulation/Siding to Match Duplex, Roofing (HPC-2025-15)
 - C. 22 Montgomery Court Pave Driveway (HPC-2025-16)
 - **D.** 128 E Main Commercial Reroof (HPC-2025-17)
 - E. 125 E Main Reroof, repair siding in kind (HPC-2025-18)
 - **F.** 29 N First Reroof, repair soffit/fascia to match existing (HPC-2025-19)
 - **G.** 320/322 W Main Reroof (HPC-2025-20)
 - **H.** 316/318 W Main Reroof (HPC-2025-21)
 - I. 348 S First Reroof, siding repair with like material, window repair (HPC-2025-22)

- **J.** 48 N Madison Reroof, Gutters (HPC-2025-23)
- **K.** 10 W Liberty Reroof, Gutters (HPC-2025-24)
- L. 259 W Liberty Black Steel Fence (HPC-2025-25)
- M. 45 N First Reroof, gutters, repair siding in kind, window repair (HPC-2025-26)
- N. 106 N Second Reroof, gutters, repair siding in kind (HPC-2025-27)
- O. 26 N First Reroof, repair siding in kind (HPC-2025-28)
- 10. Correspondence, Comments and Concerns
- **11. Next Meeting Date:** June 18, 2025 @ 6:00 p.m.
- 12. Motion to Adjourn by consensus.

HP-09-19 (09/6/2019)

For	SHEO	Use Only.	Case #
FUL	SHLL	USC UBIV.	L.235C #

REQUEST FOR SHPO REVIEW AND COMMENT ON A LOCAL UNIT OF GOVERNMENT ACTION

All materials must be submitted in hard-copy via US Postal or other mail carrier. We do not accept electronic project submittals. Submit one copy of this form and supporting materials for each undertaking requiring our review, pursuant to Wis. Stats. §§ 44.42 and 66.1111. Please print or type. Return to:

Wisconsin Historical Society State Historic Preservation Office 816 State Street Madison, WI 53706

Please provide all of the following information, as applicable:

I. GENERAL INFORMATION		
 This is a new submittal. This is supplemental information relating to Case #_ This project is being undertaken pursuant to the term 	, and title ns and conditions of a programmatic on	other memorandum of agreement.
The title of the agreement is		
A. Local Unit of Government Jurisdiction (governmental en	itity undertaking the project): Eager Fr	ee Public Library
B. Local Unit of Government Project Contact: Melissa De	estree (Agent) Destree Design Ar	chitects, Inc.
1050 E. Washington Ave #340	Madison	53703
D. Telephone: 608-512-1887 or cell 608-345-3233	FAX:	
C. Return Address:		
F. Project Name: Eager Free Public Library		nent due to Hail Damage
G. Project Street Address: 39 W. Main St.		
H. City: Evansville	Zip Code: 53536	County: Rock
I. Project Location: Township, Range	, East or West , Section	, Quarter Sections
J. Project Narrative Description: Attach information include property.	ing activity summary, plan drawings/spe	cifications, current photographs of the affected
K. Area of Potential Effect (APE): Attach a copy of U.S.G.	S. 7.5 minute topographic quadrangle sh	owing APE, and/or other maps as appropriate.
II. IDENTIFICATION OF NATIONAL REGISTER OF	R STATE REGISTER-LISTED HISTO	DRIC PROPERTIES
■ National Register and/or State Register-Listed Historic P said properties.	roperties are located within the project A	PE. Attach supporting information identifying
III. FINDINGS		
 No National Register and/or State Register-Listed Histor ■ The proposed undertaking may affect one or more Nation APE. Attach supporting documentation. 		Historic Properties located within the project
Authorized Signature:	SUSTER	Date:
Type or Print Name: Melissa Destree, AIA	17000-94000000000000000000000000000000000	
IV. STATE HISTORIC PRESERVATION OFFICE CO	MMENTS	
☐ SHPO concurs in the findings identified above. ☐ The proposed undertaking will not result in an adverse effect ☐ The proposed undertaking will result in an adverse effect ☐ SHPO requires negotiation with the Local Unit of Gover ☐ SHPO objects to the finding for reasons indicated hereon ☐ SHPO cannot review this submittal for reasons indicated	t to one or more historic properties. nment to resolve the adverse effect. n or in the attached letter.	
Authorized Signature:		Date:



6/11/25

Eager Free Public Library (Owned by the City of Evansville, WI) 39 W. Main St. Evansville, WI Listed in the Local, National and State Register https://www.wisconsinhistory.org/Records/NationalRegister/NR1901 Wisconsin Statute 66.111 - may require review by SHPO Compliance

Clay Tile Roof Replacement

Due to the immense damage and destruction to the clay tile roof during a hail event in April, 2025, it is Destree's Recommendation to replace the clay tile roof with an historically appropriate replacement from Ludowici. The current roof is tented and protected.

The age of the original roof is 1908. In 1982, an estimated 15-20% of roof tile was replaced per a local newspaper article.



Figure 1 - Damage from April hail event





Figure 2 - Close-up of hail damage



Figure 3 – Damage to edge tiles.



Proposed Ludowici Clay Tile Roofing Scope:

o Matching existing Profile T1 French profile with Lug Design

New Tile Profile T1 French:



Figure 4 - Backside of new tile T1 - profile only not for color



Figure 5- Front side of new tile profile T1 – profile only not for color

- Ludowici is able to match all historic profiles for Field, Hip (bugle), Hip Starter, Ridge (high bump) and Terminal
- o 16 oz. copper flashings, pan and drip edges
- o Copper roof vents (3) will be replaced in kind
- \circ 43# $\frac{1}{2}$ lap Felt
- Selective fascia repair will occur. The replacement will be with smooth solid wood. In the past they pieced in plywood in areas of the fascia. These fascia areas are delaminating.



- Color Mix Recommendation similar to existing. The existing roof is predominantly 'Historic Red' with a range from that color lot. It is recommended to have a mix to repeat that variation. Existing roof is slightly darker from weathering over the years. Our recommendation is
 - Santiago Rose (20%+/-)
 - Historic Red (80%+/-)

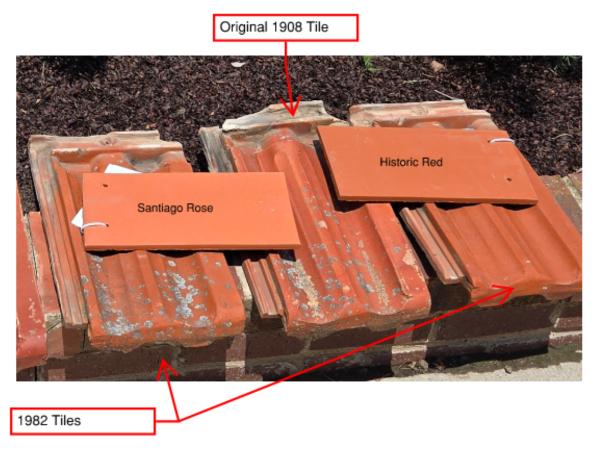


Figure 6 – Ludowici color samples above existing clay tiles.

Schedule – Next Steps:

- 1. Present tile profile and color samples to receive Certificate of Appropriateness from Evansville Historic Commission and Certificate of Compliance from SHPO.
 - a. Evansville Wed June 18th Historic Commission
- 2. Property owner signs off on color and profile samples to process order.
- 3. Tile order is placed
 - a. Minimum lead time on Ludowici tile orders is 6-9 months.
- 4. Installation anticipated Spring 2026

Melissa Destree, AIA melissa@destreearchitects.com



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

\$0.00 **Application** Fee

CITY OF EVANSVILLE HISTORIC PRESERVATION COMMISSION 31 S. Madison St. PO Box 529, Evansville, WI 53536

This is a request for issuance of a Certificate of Appropriateness (COA) by the Historic Preservation Commission (HPC) for work proposed to be performed on the exterior of a structure located in any Historic District or designated by the State or City as a historic building or historic site. Complete all sections of this form – it is used to determine if the proposal should be reviewed by staff or the HPC. Submit questions or completed applications to address above, or via email to the Community Development Director, Colette Spranger, at: (608) 882-2263 or c.spranger@evansvillewi.gov.

SECTION	APPLICANT and/or OWNER INFORMATION	HISTORIC PROPERTY INFORMATION	
	Applicant Name:	Historic Property Address:	
	Abbuy + Dan Barnes	228 W Main st.	
	Applicant Mailing Address:	Evansville, WI 53536	
	Same	The following information is available on the property's tax bill:	
	Applicant Phone: (218) 209-8510 Applicant Email: ashey mbarnes	Parcel Tax ID Number: 222	
77	Applicant Email: ashey inharnes @	Parcel Number: 6-27	
	If different from above, please provide:Not		
u	Owner Name:	searching the property address at	
	Owner Address:	www.wisconsinhistory.org/records):	
		Historic Property Name:	
		Almuran Eager House	
	Owner Phone:	AHI Number: 61078	
	Owner Email:	Contributing(Y)or N	

INSTRUCTIONS: Complete this entire form and submit by mail or email the following:

- 1. Application Form with attachments (as outlined in Section 3C and 5):
 - o Clear photo(s) of every portion of the property that will be affected by the work
 - Historic photograph(s) (if available)
 - o Exterior elevations or sketches of existing conditions and proposed work
 - Samples or specifications of proposed materials
 - If Section 3B applies, evidence of un-reparability
 - Site plan (if applicable)
 - o Print or PDF of State of WI historic property information, available by searching the property address at <u>www.wisconsinhistory.org</u>
- 2. Building Permit (work cannot begin until Building Inspector has approved a Building Permit) All applications are to be submitted and deemed complete at least 10 days prior to the HPC meeting. HPC typically meets on the third Wednesday of each month at 6:00pm in City Hall. Applicants are encouraged to appear in person.

Thank you for helping to value and protect "one of the most intact nineteenth century	townscape	s in so	uthern \	Wisconsin"
and "the finest collection of 1840s – 1915 architecture of any small town in Wisconsin" SUBMITTED BY:	_ DATE:	5	12	125
Owner or Applicant Signature		- 1	1	

Application No.: HPC-2024-____

SECTION	PROPOSED WORK CHECKLIST			
2	Please check all boxes that apply and provide more detail in Sections 3 and 4:			
Work	Category	Work Category Details		
	☐ Replacement ☐ Minor repair	□Shingles only □Soffit, fascia, or trim work □Matching existing materials □Change of materials (EG, replacing asphalt with metal)		
☐ Gutters	□ New or repair□ Replacement□ Removal	□Change of materials□Match existing historic materials (metal, etc.)□Use new modern materials (vinyl, etc.)		
☐ Siding	☐ Minor repair ☐ Replacement	□Change of materials□Match historic materials (wood, cement board, etc.)□Use modern materials (plastic, vinyl aluminum, etc.)		
☐ Exterior windows and doors	☐ Add new ☐ Replacement ☐ Removal	 □ Change in dimension or location (height, length) □ Match historic materials (wood, metal, glass, etc.) □ Use modern material (plastic, vinyl, aluminum, etc.) □ Removal, covering or alteration of original trim 		
☐ Fences	☐ New ☐ Repair ☐ Replacement	□Use new modern materials (vinyl, aluminum, etc.) □Matching historic materials (wood, stone, etc.)		
□ Porch	☐ Minor repair☐ Replacement☐ Removal☐ Add new	 □ Match historic material (wood, metal, etc.) □ Use new modern material (plastic, vinyl, aluminum, etc.) □ Column, railing, or skirting □ Decking 		
☐ Sidewalk or paving	□ New □ Repair □ Replacement	□Recreating □Matching existing materials □Other:		
☐ New construction	☐ Addition☐ New building☐ Façade alteration	□Recreating missing architectural features □Removing architectural features □Other:		
☐ Signage and exterior lighting	□ New □ Repair □ Replacement	□ <u>Signage (Complete Sign Permit Application instead).</u> □Lighting □New alternative materials □Matching existing materials		
Ø.Other	NewRepairReplacementRemoval			

Application No.: HPC-2024-__

SECTION	PROPOSED WORK SUMMARY		
	3A For each Item that was checked in the left-hand column of Section 2, provide a more detailed description of the work proposed to be done:		
	Take off existing dog kennel and add a detached car port		
9	Pursuant to State Statute 62.23(7)(em)(2m) replacement materials shall be similar in design color, scale, architectural appearance, and other visual qualities. Please help the HPC or city staff better understand your project proposal by providing the following information:		
5)	3B Will your project include replacing materials original to your historic building, including: siding, windows, trim, doors, etc?		
	3C If so, summarize any attempts to repair the original materials and attach a contractor estimate that demonstrates the un-reparability of original materials:		

	SUPPLEMENTAL QUESTIONS
4	4A Will the proposed work alter any of the distinctive features or historic architectural details of the property? No, Wont he Seen from street either
	4B Please briefly describe how the proposed work will conform to the Standards and Guidelines of the Secretary of the U. S. Dept. of the Interior for the Rehabilitation of His toric Properties (available at www.nps.gov/tps/standards/rehabilitation.htm and at City Hall.) Adherence to these standards and guidelines will help assure your property's eligibility for potential State and Federal tax credits.

East Treuted 6"x6" TIME Existing Grand Elevation 14 - gravel on ground. -Asphalt shingles to Gable End View Timbe Y west

Existing Boilding , Roof line 6'x6' matching Root to preexisting building Ground Side view Elevation 14 (Diamond pines) Painted

228 W Main Carport Location in Red







APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

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\$0.00 **Application** Fee

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SECTION	APPLICANT and/or OWNER INFORMATION	HISTORIC PROPERTY INFORMATION
	Applicant Name:	Historic Property Address:
	DON KOHLHAGEN	345 W LIBERTY ST
	Applicant Mailing Address:	Evansville, WI 53536
	345 W LIBERTY ST	The following information is available on
	· ·	the property's tax bill:
	Applicant Phone: 608 - 295-8769	Parcel Tax ID Number: 222 <u>DO1Z3Z</u>
	Applicant Email: 900000 LOOP@YAHOO	Parcel Number: 6-27-4-/0
	If different from above, please provide:	The following information is available by
	Owner Name:	searching the property address at
	Owner Address:	www.wisconsinhistory.org/records):
		Historic Property Name: N/A
		/
	Owner Phone:	AHI Number: 85119
	Owner Email:	Contributing: (Y) or N

INSTRUCTIONS: Complete this entire form and submit by mail or email the following:

- Application Form with attachments (as outlined in Section 3C and 5):
 - o Clear photo(s) of every portion of the property that will be affected by the work
 - o Historic photograph(s) (if available)
 - o Exterior elevations or sketches of existing conditions and proposed work
 - o Samples or specifications of proposed materials
 - o If Section 3B applies, evidence of un-reparability
 - o Site plan (if applicable)
 - o Print or PDF of State of WI historic property information, available by searching the property address at www.wisconsinhistory.org
- Building Permit (work cannot begin until Building Inspector has approved a Building Permit)

All applications are to be submitted and deemed complete at least 10 days prior to the HPC meeting. HPC typically meets on the third Wednesday of each month at 6:00pm in City Hall. Applicants are encouraged to appear in person.

Thank you for helping to value and protect "one of the most intact nineteenth century and "the finest collection of 1840s – 1915 architecture of any small town in Wisconsin"	- Wisconsin Sta	te Historic Society
SUBMITTED BY: Dou Kohlhagen Quiner or Applicant Signature	_ DATE: 5	12/25

Application No.: HPC-2025-____

SECTION	PROPOSED WORK (CHECKLIST	
2	Please check all boxes that apply and provide more detail in Sections 3 and 4:		
Work Category Details		Work Category Details	
Roofing	Ä Replacement ☐ Minor repair	Shingles only Soffit, fascia, or trim work Matching existing materials Change of materials (EG, replacing asphalt with metal)	
☐ Gutters	□ New or repair Replacement Removal	□Change of materials □Match existing historic materials (metal, etc.) Muse new modern materials (vinyl, etc.)	
Siding	☐ Minor repair ☐ Replacement	□Change of materials □Match historic materials (wood, cement board, etc.)	
☐ Exterior windows and doors	☐ Add new ☐ Replacement ☐ Removal	□Change in dimension or location (height, length) □Match historic materials (wood, metal, glass, etc.) □Suse modern material (plastic, vinyl, aluminum, etc.) □Removal, covering or alteration of original trim	
Fences	□ Repair □ Replacement	□ Use new modern materials (vinyl, aluminum, etc.) ADD for Matching historic materials (wood, stone, etc.) EXISTING	
☑ Porch		 ☑Match historic material (wood, metal, etc.) ☐Use new modern material (plastic, vinyl, aluminum, etc.) ☐Column, railing, or skirting ☐Decking	
☐ Sidewalk or paving	□ New □ Repair □ Replacement	□Recreating □Matching existing materials □Other:	
☐ New construction	☐ Addition ☐ New building ☐ Façade alteration	□Recreating missing architectural features □Removing architectural features □Other:	
☐ Signage and exterior lighting	☐ New ☐ Repair ☐ Replacement	☐ Signage (Complete Sign Permit Application instead). ☐ Lighting ☐ New alternative materials ☐ Matching existing materials	
□Other	☐ New ☐ Repair ☐ Replacement ☐ Removal	 □New modern materials □Match existing materials □Removal or altering of original architectural details □ 	

PROPERTY RECORD 345 W LIBERTY ST

Architecture and History Inventory



NAMES

Historic Name: Other Name:

Contributing: Yes

Reference Number: 85119

PROPERTY LOCATION

Location (Address): 345 W LIBERTY ST

County: Rock
City: Evansville
Township/Village:

Unincorporated Community:

Town:
Range:
Direction:
Section:

Quarter Section:

Quarter/Quarter Section:

PROPERTY FEATURES

Year Built: Additions:

Survey Date: **2006**Historic Use: **house**

Architectural Style: Side Gabled

Structural System:

Wall Material: Aluminum/Vinyl Siding

Architect:

Other Buildings On Site:

Demolished?: **No** Demolished Date:

NATIONAL AND STATE REGISTER OF HISTORIC PLACES

National/State Register Listing Name: Evansville Historic

District

National Register Listing Date: 11/16/1978

State Register Listing Date: **1/1/1989**National Register Multiple Property Name:

NOTES

Additional Information: BUILT BETWEEN 1871 AND 1883

ACCORDING TO BIRD'S EYE VIEWS.

Bibliographic References: BIRD'S EYE VIEW OF EVANSVILLE, WI. CHICAGO: CHICAGO LITHOGRAPHING CO., 1871. BIRD'S EYE VIEW OF EVANSVILLE. MADISON: J. J. STONER, 1883.

RECORD LOCATION

Wisconsin Architecture and History Inventory, State Historic Preservation Office, Wisconsin Historical Society, Madison, Wisconsin

Have Questions?

If you didn't find the record you were looking for, or have other questions about historic preservation, please email us and we can help:

leah.penzkover@wisconsinhistory.org

If you have an update, correction, or addition to a record, please include this in your message:

- AHI number
- Information to be added or changed
- Source information



Re: Historic Application for Wood Fence

From Clay kohlhagen <ground.loop@yahoo.com>

Date Mon 5/12/2025 14:42

To Colette Spranger < c.spranger@evansvillewi.gov >

Replace with new material, likely Smart Side by LP if things go as I want to. Clay

"We're not comfortable until you are!"
Don-Martin Heating, Cooling & Cooling Inc.
345 W Liberty St
Evansville WI 53536
Office 608-758-9882
www.don-martinhvac.com
See us at our Google+ Page

On Monday, May 12, 2025 at 02:12:15 PM CDT, Colette Spranger <c.spranger@evansvillewi.gov> wrote:

Thanks for the quick response!

Question regarding the siding — is this replacing the siding with a new material or replacing with the same material that was there before?

Colette Spranger

Office: 608-882-2263 Cell: 608-490-0145

From: Clay kohlhagen <ground.loop@yahoo.com>

Sent: Monday, May 12, 2025 14:09

To: Colette Spranger <c.spranger@evansvillewi.gov> **Subject:** Re: Historic Application for Wood Fence

colette Spranger

I have attached the 2 pages as requested, if this is for the fence only ok this should do it. However, I figure I might as well get

the ball rolling on the other permit for the Hail Damage repairs which will include;

- replace roof
- replace siding
- replace gutters
- replace 3 windows
- replace garage door
- replace garage man door
- replace and/or install new soffit facia materials to maintenance free aluminum.

- replace front porch floor boards that are rotting Clay Kohlhagen

On Monday, May 12, 2025 at 01:06:50 PM CDT, Colette Spranger <c.spranger@evansvillewi.gov> wrote:

Hello — I received a building permit for a wood fence at 345 W Liberty. Because this building is in the historic district, I will need an application for the historic district. It's attached here.

This is a pretty simple application and won't require going to the Historic Preservation Committee for approval. I will issue the permit after I receive the attached application. I'll just need the first two pages filled out. The rest of the pages are for bigger projects. Thanks!

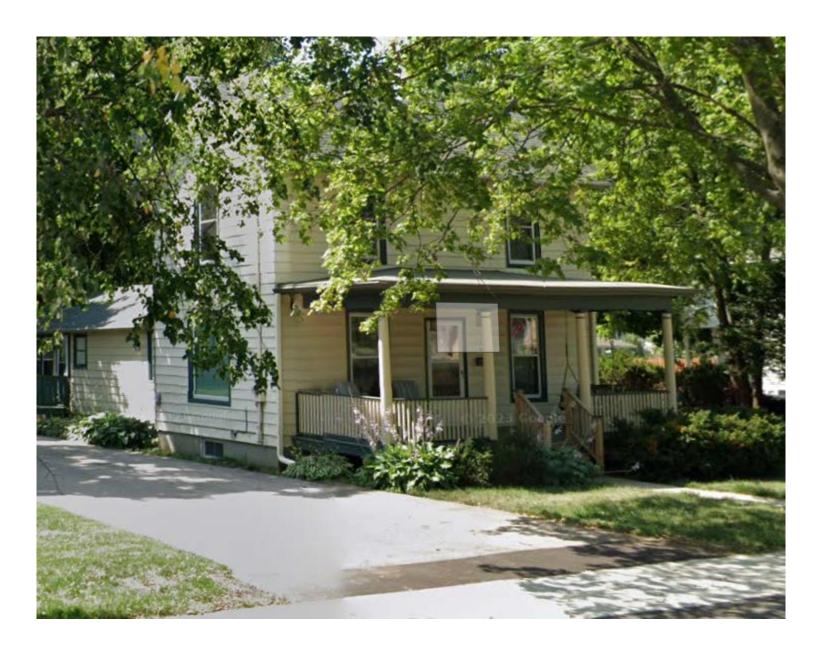
Colette Spranger, AICP Community Development Director City of Evansville, Wisconsin

office: 608-882-2263 cell: 608-490-0145

345 W Liberty Street View



345 W Liberty Street View





APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

CITY OF EVANSVILLE HISTORIC PRESERVATION COMMISSION 31 S. Madison St, PO Box 529, Evansville, WI 53536

\$0.00 **Application** Fee

This is a request for issuance of a Certificate of Appropriateness (COA) by the Historic Preservation Commission (HPC) for work proposed to be performed on the exterior of a structure located in any Historic District or designated by the State or City as a historic building or historic site. Complete all sections of this form – it is used to determine if the proposal should be reviewed by staff or the HPC. Submit questions or completed applications to address above, or via email to the Community Development Director, Colette Spranger, at: (608) 882-2263 or c.spranger@evansvillewi.gov.

SECTION	APPLICANT and/or OWNER INFORMATION	HISTORIC PROPERTY INFORMATION
	Applicant Name:	Historic Property Address:
	Pro Kestoration Solutions	236 West Church St.
	Applicant Mailing Address:	Evansville, WI 53536
1	1848 Burden Rd.	The following information is available on
	machesney Park, IL 61115	the property's tax bill:
	Applicant Phone: 833-509-7663	Parcel Tax ID Number: 222
	Applicant Email: grace @ Pro-Restruction.	Parcel Number: 6-27
	If different from above, please provide;	The following information is available by
_	Owner Name: JESSICA Wentworth	searching the property address at
	Owner Address:	www.wisconsinhistory.org/records):
	236 West Church St.	Historic Property Name:
	Evansville, WI 53636	
	Owner Phone: 608-201-1956	AHI Number:
	Owner Email: Jessicalynn. Wentworth	Contributing: Y or N
	· @ gmail. com	

INSTRUCTIONS: Complete this entire form and submit by mail or email the following:

- 1. Application Form with attachments (as outlined in Section 3C and 5):
 - o Clear photo(s) of every portion of the property that will be affected by the work
 - Historic photograph(s) (if available)
 - o Exterior elevations or sketches of existing conditions and proposed work
 - o Samples or specifications of proposed materials
 - o If Section 3B applies, evidence of un-reparability
 - Site plan (if applicable)
 - o Print or PDF of State of WI historic property information, available by searching the property address at www.wisconsinhistory.org
- 2. <u>Building Permit</u> (work cannot begin until Building Inspector has approved a Building Permit) All applications are to be submitted and deemed complete at least 10 days prior to the HPC meeting. HPC typically meets on the third Wednesday of each month at 6:00pm in City Hall. Applicants are encouraged to appear in person.

Thank you for helping to	value and protect	"one of the most intact nineteent	h century townscapes	in southern Wisconsin"
and "the finest collectio	n of \$840s - 1915 ar	chitecture of any small town in W	isconsin" - Wisconsin	State Historic Society
SUBMITTED BY:	Grace Rat	the	DATE:	5/30/25
	Ov	wner or Applicant Signature		

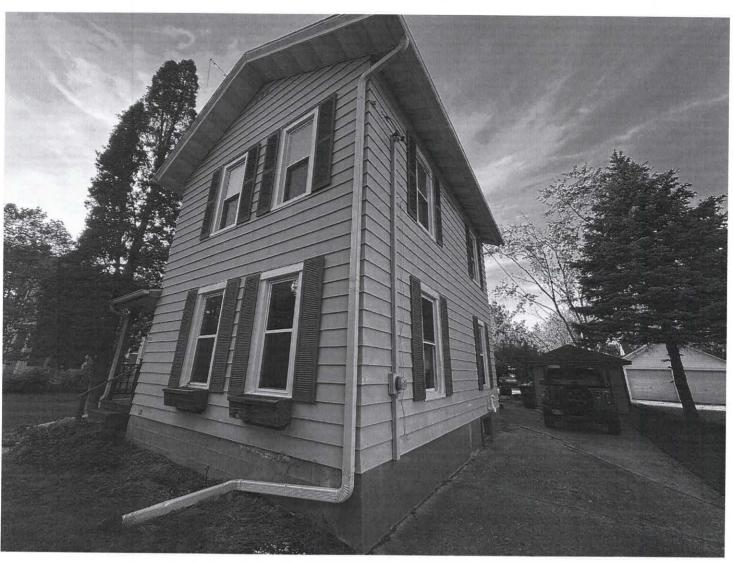
Application No.: HPC-2024-____

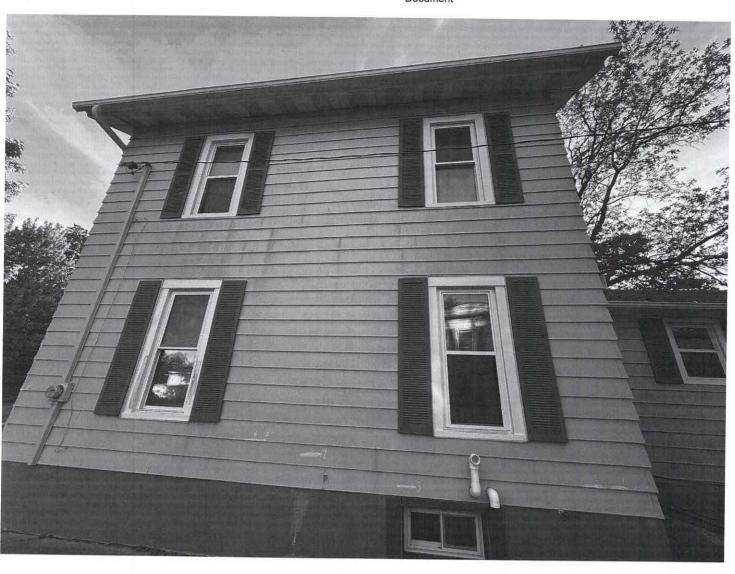
SECTION	PROPOSED WORK CHECKLIST	
2	Please check all boxes that apply and provide more detail in Sections 3 and 4:	
Worl	k Category	Work Category Details
Å Roofing	Replacement Minor repair	□Shingles only □Soffit, fascia, or trim work
∯ Gutters	□ New or repair X Replacement □ Removal	☐ Change of materials Match existing historic materials (metal, etc.) Use new modern materials (vinyl, etc.)
刘 Siding	□ Minor repair	□Change of materials Match historic materials (wood, cement board, etc.) Muse modern materials (plastic, vinyl) aluminum, etc.)
☐ Exterior windows and doors	□ Add new □ Replacement □ Removal	□Change in dimension or location (height, length) □Match historic materials (wood, metal, glass, etc.) □Use modern material (plastic, vinyl, aluminum, etc.) □Removal, covering or alteration of original trim
☐ Fences	□ New □ Repair □ Replacement	☐ Use new modern materials (vinyl, aluminum, etc.) ☐ Matching historic materials (wood, stone, etc.)
□ Porch	☐ Minor repair ☐ Replacement ☐ Removal ☐ Add new	 □Match historic material (wood, metal, etc.) □Use new modern material (plastic, vinyl, aluminum, etc.) □Column, railing, or skirting □Decking
☐ Sidewalk or paving	□ New □ Repair □ Replacement	□Recreating □Matching existing materials □Other:
☐ New construc- tion	☐ Addition☐ New building☐ Façade alteration	□Recreating missing architectural features □Removing architectural features □Other:
□ Signage and exterior lighting	□ New □ Repair □ Replacement	□ <u>Signage (Complete Sign Permit Application instead).</u> □Lighting □New alternative materials □Matching existing materials
□Other	□ New □ Repair □ Replacement □ Removal	□ New modern materials □ Match existing materials □ Removal or altering of original architectural details □

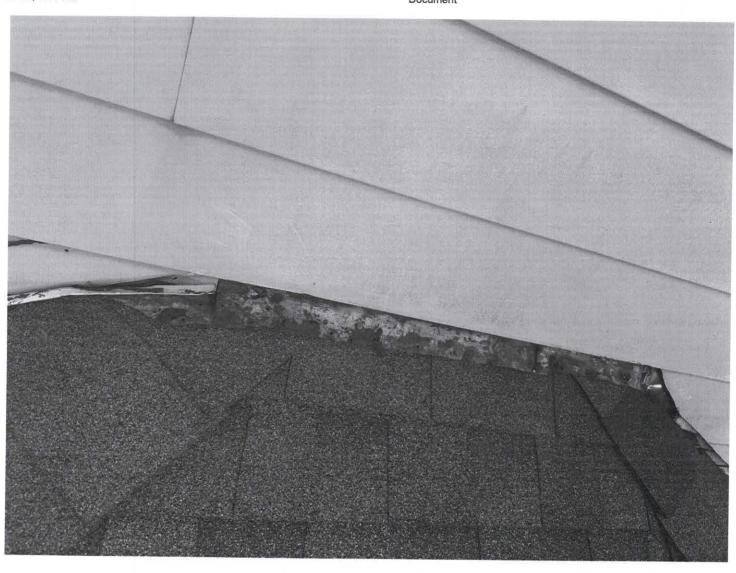
Application No.: HPC-2024-

SECTION	PROPOSED WORK SUMMARY
SECTION	3A For each Item that was checked in the left-hand column of Section 2, provide a more detailed description of the work proposed to be done: That off and reroof whas phate shingles That off and replace yiving siding That off and replace quiters with same Pursuant to State Statute 62.23(7)(em)(2m) replacement materials shall be similar in design color, scale, architectural appearance, and other visual qualities. Please help the HPC or city staff better understand your project proposal by providing the following information: 3B Will your project include replacing materials original to your historic building, including: siding, windows, trim, doors, etc? Staing 15 Viny Aluminum Staing Not available 3C If so, summarize any attempts to repair the original materials and attach a contractor estimate that demonstrates the un-reparability of original materials:

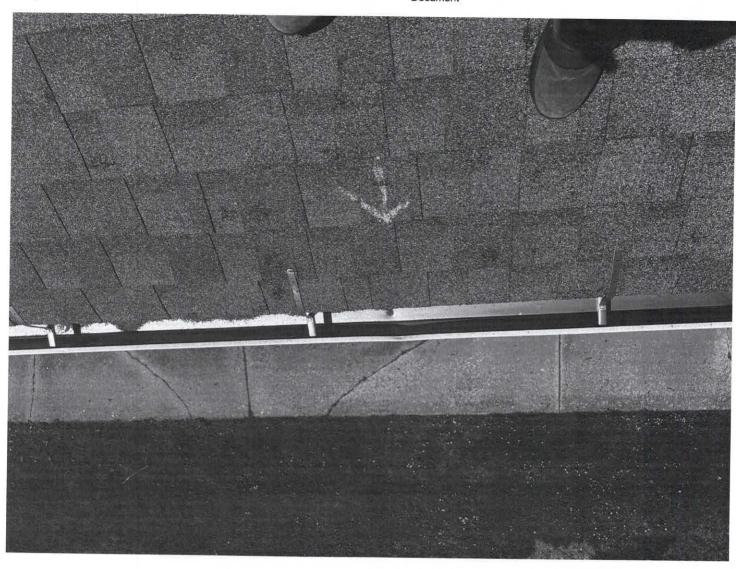
SECTION	SUPPLEMENTAL QUESTIONS
	4A Will the proposed work alter any of the distinctive features or historic architectural details of the property? 10
4	AR Plagga briefly describe have the
	4B Please briefly describe how the proposed work will conform to the Standards and Guidelines of the Secretary of the U. S. Dept. of the Interior for the Rehabilitation of Historic Properties (available at www.nps.gov/tps/standards/rehabilitation.htm and at City Hall.) Adherence to these standards and guidelines will help assure your property's eligibility for potential State and Federal tax credits.
	4C Have you submitted this project for state or federal tax credits?

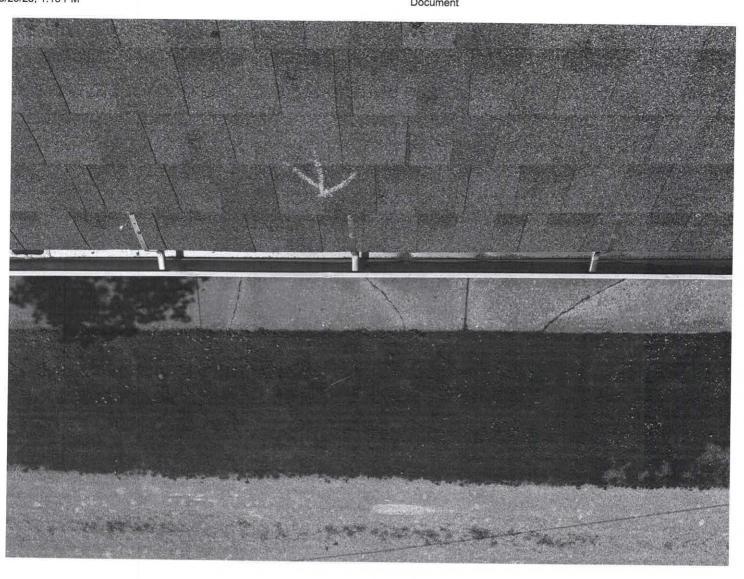


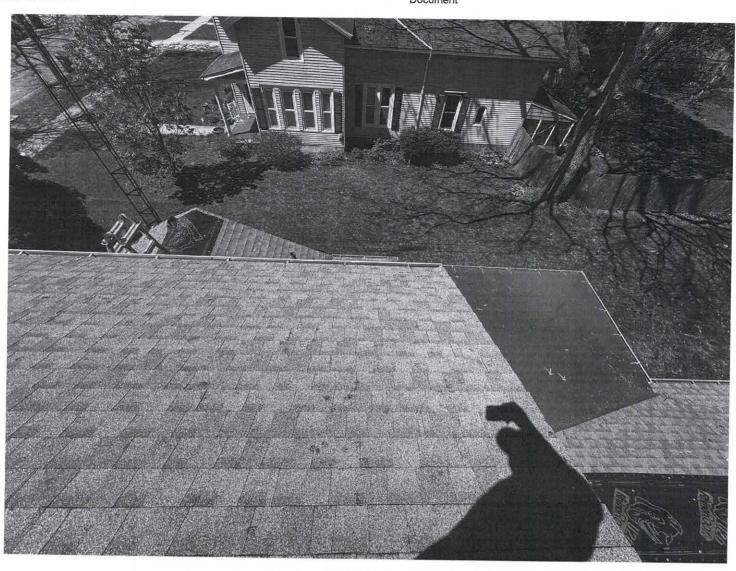


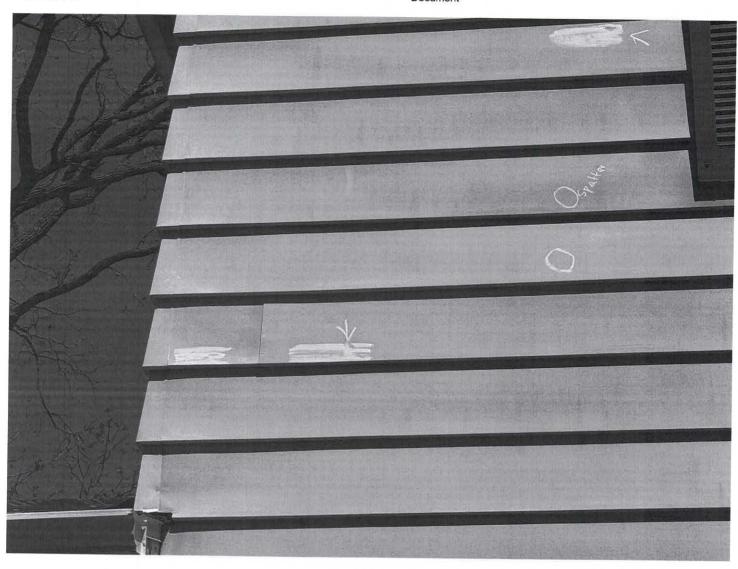












236 W Church



PROPERTY RECORD 236 W CHURCH ST

Architecture and History Inventory



NAMES

Historic Name: GEORGE D. POTTER HOUSE

Other Name:

Contributing: Yes

Reference Number: 85052

PROPERTY LOCATION

Location (Address): 236 W CHURCH ST

County: Rock
City: Evansville
Township/Village:

Unincorporated Community:

Town:
Range:
Direction:
Section:

Quarter Section:

Quarter/Quarter Section:

PROPERTY FEATURES

Year Built: 1878

Additions:

Survey Date: **2006** Historic Use: **house**

Architectural Style: Front Gabled

Time in tab: 0m 14s

Structural System:

Wall Material: Aluminum/Vinyl Siding

Architect:

Other Buildings On Site:

Demolished?: **No** Demolished Date:

NATIONAL AND STATE REGISTER OF HISTORIC PLACES

National/State Register Listing Name: Evansville Historic

District

National Register Listing Date: 11/16/1978

State Register Listing Date: **1/1/1989**National Register Multiple Property Name:

NOTES

Additional Information:

Bibliographic References: EVANSVILLE REVIEW. JANUARY 30, 1878. ADDRESS FILES. LEONARD P. EAGER LOCAL HISTORY ROOM, EAGER FREE PUBLIC LIBRARY.

RECORD LOCATION

Wisconsin Architecture and History Inventory, State Historic Preservation Office, Wisconsin Historical Society, Madison, Wisconsin

Have Questions?

If you didn't find the record you were looking for, or have other questions about historic preservation, please email us and we can help:

leah.penzkover@wisconsinhistory.org

If you have an update, correction, or addition to a record, please include this in your message:

- AHI number
- Information to be added or changed
- Source information

Time in tab: 0m 14s



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

CITY OF EVANSVILLE HISTORIC PRESERVATION COMMISSION 31 S. Madison St, PO Box 529, Evansville, WI 53536

\$0.00 **Application** Fee

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	THE ANI and/or Own	
1	Applicant Name: Paul Martindak Applicant Mailing Address: 5133 N. Old Orchard Dr. Janesville, WI 53545 Applicant Email: If different from above, please provide: Owner Name: Beth Ammerman Owner Address: 332 N. Ciberty St. Evansville, WI 53536 Owner Phone: 608-490-6971 Owner Email: bethammer man a Charter not	Historic Property Address: 332. W. Liburty St. Evansville, WI 53536 The following information is available the property's tax bill: Parcel Tax ID Number: 222 © 12 (7) Parcel Number: 6-27-215.3A The following information is available searching the property address at www.wisconsinhistory.org/records): Historic Property Name:

ete this entire form and submit by mail or email the following: 1. Application Form with attachments (as outlined in Section 3C and 5):

- Clear photo(s) of every portion of the property that will be affected by the work
- Exterior elevations or sketches of existing conditions and proposed work
- Samples or specifications of proposed materials If Section 3B applies, evidence of un-reparability
- Site plan (if applicable)
- o Print or PDF of State of WI historic property information, available by searching the property address at www.wisconsinhistory.org
- 2. Building Permit (work cannot begin until Building Inspector has approved a Building Permit) All applications are to be submitted and deemed complete at least 10 days prior to the HPC meeting. HPC typically meets on the third Wednesday of each month at 6:00pm in City Hall. Applicants are encouraged to appear in person.

Thank you for helping to value and protect "one of the most intact nineteenth century townscapes in southern Wiscons	in
and "the finest collection of 1840s – 1915 architecture of any small town in Wisconsin" – Wisconsin State Historic Societ	ty

SUBMITTED BY: A M

Owner or Applicant Signature

SECTION	PROPOSED WORK CHECKLIST Application No.: HPC-20. Please check all boxes that apply and provide more detail in Sections 3 and 4: Ork Category		
2			
Work	Category	and 4:	
Roofing	Replacement Minor repair	Work Category Details Shingles only Soffit, fascia, or trim work	
A Gutters	□ New or repair Replacement Removal	Change of materials (EG, replacing asphalt with metal) Change of materials Change of materials Match existing historic materials (metal, etc.) Use new modern materials (vinyl, etc.)	
Siding	□ Minor repair □ Replacement	Change of materials Match historic materials	
Exterior windows and doors	□ Add new □ Replacement □ Removal	□ Change in dimension or location (height, length) SMatch historic materials (wood, metal, glass, etc.) □ Use modern material (plastic primary)	
☐ Fences	□ New □ Repair □ Replacement	□ Removal, covering or alteration of original trim □ Use new modern materials (vinyl, aluminum, etc.) □ Matching historic materials (wood, stone, etc.)	
□ Porch	☐ Minor repair ☐ Replacement ☐ Removal ☐ Add new	☐ Match historic material (wood, metal, etc.) ☐ Use new modern material (plastic, vinyl, aluminum, etc.) ☐ Column, railing, or skirting ☐ Decking	
□ Sidewalk or paving	☐ New ☐ Repair ☐ Replacement	☐Recreating ☐Matching existing materials ☐Other:	
□ New construc- tion	☐ Addition ☐ New building ☐ Façade alteration	□Recreating missing architectural features□Removing architectural features□Other:	
□ Signage and exterior lighting	☐ New ☐ Repair ☐ Replacement	 □ Signage (Complete Sign Permit Application instead). □ Lighting □ New alternative materials □ Matching existing materials 	
□Other	☐ New ☐ Repair ☐ Replacement ☐ Removal	 □New modern materials □Match existing materials □Removal or altering of original architectural details □ 	

Application No.: HPC-20049

SECTION	PROPOSED WORK SUMMARY		
3	3A For each Item that was checked in the left-hand column of Section 2, provide a more detailed description of the work proposed to be done: Priginal material was aluminum. Ranch house March Was aluminum. Ranch house Was alum		

SECTION	SUPPLEMENTAL QUESTIONS
	4A Will the proposed work alter any of the distinctive features or historic architectural details of the property? No
4	4B Please briefly describe how the proposed work will conform to the Standards and Guidelines of the Secretary of the U. S. Dept. of the Interior for the Rehabilitation of Historic Properties (available at www.nps.gov/tps/standards/rehabilitation.htm and at City Hall.) Adherence to these standards and guidelines will help assure your property's eligibility for potential State and Federal tax credits.
	4C Have you submitted this project for state or federal tax credits?
	No

332 W Liberty



PROPERTY RECORD 332 W LIBERTY ST

Architecture and History Inventory

NAMES

Historic Name: Other Name: Contributing:

Reference Number: 141104

PROPERTY LOCATION

Location (Address): 332 W LIBERTY ST

County: Rock
City: Evansville
Township/Village:

Unincorporated Community:

Town:
Range:
Direction:
Section:

Quarter Section:

Quarter/Quarter Section:

PROPERTY FEATURES

Year Built: Additions:

Survey Date: **2006** Historic Use: **house**

Architectural Style: Ranch

Structural System:

Wall Material: Aluminum/Vinyl Siding

Architect:

Other Buildings On Site:

Demolished?: No

Time in tab: 9m 46s

NATIONAL AND STATE REGISTER OF HISTORIC PLACES

National/State Register Listing Name: **Evansville Historic**

District

National Register Listing Date: 11/16/1978

State Register Listing Date: 1/1/1989 National Register Multiple Property Name:

NOTES

Additional Information: BUILT AFTER 1978, WHEN THE

DISTRICT WAS LISTED.

Bibliographic References: .

RECORD LOCATION

Wisconsin Architecture and History Inventory, State Historic Preservation Office, Wisconsin Historical Society, Madison, Wisconsin

Have Questions?

If you didn't find the record you were looking for, or have other questions about historic preservation, please email us and we can help:

leah.penzkover@wisconsinhistory.org

If you have an update, correction, or addition to a record, please include this in your message:

- AHI number
- Information to be added or changed
- Source information

Note: When providing a historical fact, such as the story of a historic event or the name of an architect, be sure to list your sources. We will only create or update a property record if w Time in tab: 9m 46s verify a submission is factual and accurate.



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

CITY OF EVANSVILLE HISTORIC PRESERVATION COMMISSION 31 S. Madison St, PO Box 529, Evansville, WI 53536

\$0.00 **Application** Fee

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SECTION	APPLICANT and/or OWNER INFORMATION	HISTORIC PROPERTY INFORMATION	
	Applicant Name:	Historic Property Address:	
	Micle Construction		
	Applicant Mailing Address:	Evansville, WI 53536	
	2134 Highway 14 June 24:11 e W; 5 3545	The following information is available or	
	Junesville W; 5 3545	the property's tax bill:	
39 <u></u> 23	Applicant Phone: 608-751-1196	Parcel Tax ID Number: 222 DO 158	
77	Applicant Email: Miderochina acmail	Parcel Number: 6-27- 62	
	It different from above, please provide:	The following information is available by	
u	Owner Name: Richard Nim2	searching the property address at	
16	Owner Address: 203 w main 5t	www.wisconsinhistory.org/records):	
		Historic Property Name:	
	Owner Phone: 882-5665	AHI Number:	
	Owner Email: none	Contributing: Y or N	

INSTRUCTIONS: Complete this entire form and submit by mail or email the following:

- 1. Application Form with attachments (as outlined in Section 3C and 5):
 - o Clear photo(s) of every portion of the property that will be affected by the work
 - o Historic photograph(s) (if available)
 - o Exterior elevations or sketches of existing conditions and proposed work
 - Samples or specifications of proposed materials
 - o If Section 3B applies, evidence of un-reparability
 - Site plan (if applicable)
 - o Print or PDF of State of WI historic property information, available by searching the property address at www.wisconsinhistory.org
- 2. <u>Building Permit</u> (work cannot begin until Building Inspector has approved a Building Permit)

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Thank you for helping to value and protect "one of the most intact nineteenth century and "the finest collection of 1840s – 1915 architecture of any small town in Wisconsin"	townscapes in southern Wisconsin" — Wisconsin State Historic Society
SUBMITTED BY:	DATE:
Owner or Applicant Signature	

Application No.: HPC-2024-____

SECTION	PROPOSED WORK CHECKLIST		
2	Please check all boxes that apply and provide more detail in Sections 3 and 4:		
Work	Category	Work Category Details	
□ Roofing	☐ Replacement ☐ Minor repair	□Shingles only □Soffit, fascia, or trim work □Matching existing materials □Change of materials (EG, replacing asphalt with metal)	
☐ Gutters	□ New or repair□ Replacement□ Removal	□Change of materials□Match existing historic materials (metal, etc.)□Use new modern materials (vinyl, etc.)	
☐ Siding	☐ Minor repair ☐ Replacement	□Change of materials□Match historic materials (wood, cement board, etc.)□Use modern materials (plastic, vinyl aluminum, etc.)	
☐ Exterior windows and doors	☐ Add new ☐ Replacement ☐ Removal	 □ Change in dimension or location (height, length) □ Match historic materials (wood, metal, glass, etc.) □ Use modern material (plastic, vinyl, aluminum, etc.) □ Removal, covering or alteration of original trim 	
☐ Fences	☐ New ☐ Repair ☐ Replacement	□Use new modern materials (vinyl, aluminum, etc.) □Matching historic materials (wood, stone, etc.)	
☐ Porch	☐ Minor repair☐ Replacement☐ Removal☐ Add new	 □Match historic material (wood, metal, etc.) □Use new modern material (plastic, vinyl, aluminum, etc.) □Column, railing, or skirting □Decking 	
☐ Sidewalk or paving	□ New □ Repair □ Replacement	□Recreating □Matching existing materials □Other:	
☐ New construction	□ Addition□ New building□ Façade alteration	□Recreating missing architectural features □Removing architectural features □Other:	
□ Signage and exterior lighting	□ New □ Repair □ Replacement	□ <u>Signage (Complete Sign Permit Application instead).</u> □ Lighting □ New alternative materials □ Matching existing materials	
□Other	☐ New ☐ Repair ☐ Replacement ☐ Removal	☐ New modern materials ☐ Match existing materials ☐ Removal or altering of original architectural details	

SECTION	PROPOSED WORK SUMMARY		
3	3A For each Item that was checked in the left-hand column of Section 2, provide a more detailed description of the work proposed to be done: **Roofins** is Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like for Like Fascia Replaced with hP no Soffint work Window Teims Like Fascia Replaced with hP no Soffint work Window Teims Like Fascia Replaced with hP no Soffint work Window Teims Like Fascia Replaced with hP no Soffint work Window Teims Like Fascia Replaced with hP no Soffint work Window Teims Like Fascia Replaced with hP no Soffint work Window Teims Like Fascia Replaced with hP no Soffint work Window Teims Like Fascia Replaced with hP no Soffint work Window Teims Like Fascia Replaced with hP no Soffint work Window Teims Like Fascia Replaced with hP no Soffint work Window Teims Like Fascia Replaced with help with		

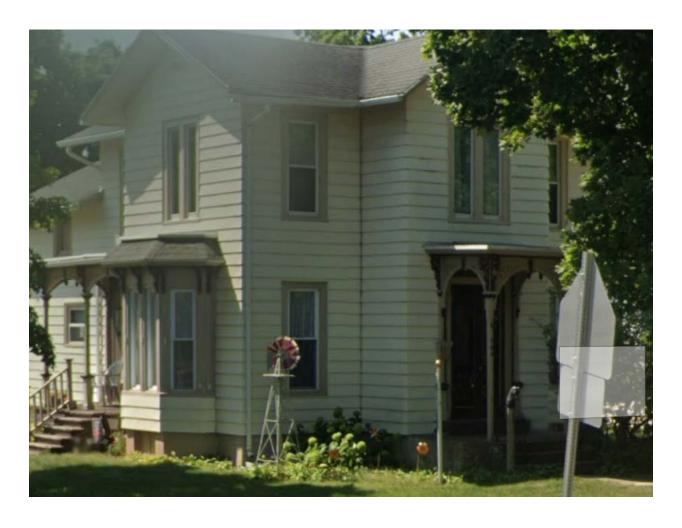
SECTION	SUPPLEMENTAL QUESTIONS
	4A Will the proposed work alter any of the distinctive features or historic architectural details of the property?
	Λο
	moving from 8" Aluminum To Double 4" ving
4	4B Please briefly describe how the proposed work will conform to the Standards and Guidelines of the Secretary of the U. S. Dept. of the Interior for the Rehabilitation of Historic Properties (available at www.nps.gov/tps/standards/rehabilitation.htm and at City Hall.) Adherence to these standards and guidelines will help assure your property's eligibility for potential State and Federal tax credits.
	4C Have you submitted this project for state or federal tax credits?

203 W Main





203 W Main



PROPERTY RECORD 203 W MAIN ST

Architecture and History Inventory



NAMES

Historic Name: Other Name:

Contributing: Yes

Reference Number: 85204

PROPERTY LOCATION

Location (Address): 203 W MAIN ST

County: Rock
City: Evansville
Township/Village:

Unincorporated Community:

Town:
Range:
Direction:
Section:

Quarter Section:

Quarter/Quarter Section:

PROPERTY FEATURES

Year Built: Additions:

Survey Date: **2006** Historic Use: **house**

Architectural Style: Italianate

Time in tab: 0m 12s

Structural System:

Wall Material: Aluminum/Vinyl Siding

Architect:

Other Buildings On Site:

Demolished?: **No** Demolished Date:

NATIONAL AND STATE REGISTER OF HISTORIC PLACES

National/State Register Listing Name: **Evansville Historic**

District

National Register Listing Date: 11/16/1978

State Register Listing Date: **1/1/1989**National Register Multiple Property Name:

NOTES

Additional Information: BUILT BETWEEN 1883 AND 1894. Bibliographic References: BIRD'S EYE VIEW OF EVANSVILLE, WI. MADISON: J. J. STONER, 1883. SANBORN-PERRIS MAPS OF EVANSVILLE, WI. NEW YORK: 1894.

RECORD LOCATION

Wisconsin Architecture and History Inventory, State Historic Preservation Office, Wisconsin Historical Society, Madison, Wisconsin

Have Questions?

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leah.penzkover@wisconsinhistory.org

If you have an update, correction, or addition to a record, please include this in your message:

- AHI number
- Information to be added or changed
- Source information

Time in tab: 0m 12s





APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

CITY OF EVANSVILLE HISTORIC PRESERVATION COMMISSION 31 S. Madison St, PO Box 529, Evansville, WI 53536

\$0.00 **Application** Fee

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SECTION	APPLICANT and/or OWNER INFORMATION	HISTORIC PROPERTY INFORMATION
	Applicant Name: Thick Construction	Historic Property Address:
		17-20 montgomery CT Evansville, WI 53536
	Applicant Mailing Address:	Evansville, WI 53536
	2134 Hay 14 Janea Me M; 53545	The following information is available on
	Janes: He M; 53545	the property's tax bill:
	Applicant Phone: 608-751-1196 Applicant Email: Thideroot, 20g mail	Parcel Tax ID Number: 222
า	Applicant Email: Thiderown 209 mail	Parcel Number: 6-27
	If different from above, please provide:	The following information is available by
П	Owner Name: The Willowbox	searching the property address at
	Owner Name: John Willamby Owner Address: 155 gar Pick	www.wisconsinhistory.org/records):
	Eveng ville	Historic Property Name:
		Э.
	Owner Phone: 882 - 5733	AHI Number:
	Owner Email:	Contributing: Y or N

INSTRUCTIONS: Complete this entire form and submit by mail or email the following:

- 1. Application Form with attachments (as outlined in Section 3C and 5):
 - o Clear photo(s) of every portion of the property that will be affected by the work
 - Historic photograph(s) (if available)
 - o Exterior elevations or sketches of existing conditions and proposed work
 - o Samples or specifications of proposed materials
 - o If Section 3B applies, evidence of un-reparability
 - Site plan (if applicable)
 - o Print or PDF of State of WI historic property information, available by searching the property address at www.wisconsinhistory.org
- 2. <u>Building Permit</u> (work cannot begin until Building Inspector has approved a Building Permit)

All applications are to be submitted and deemed complete at least 10 days prior to the HPC meeting. HPC typically meets on the third Wednesday of each month at 6:00pm in City Hall. Applicants are encouraged to appear in person.

Thank you for helping to value and protect "one of the most intact nineteenth century t and "the finest collection of 1840s – 1915 architecture of any small town in Wisconsin" -	
SUBMITTED BY:	DATE:
Owner or Applicant Signature	

Application No.: HPC-2024-____

SECTION	PROPOSED WORK CHECKLIST		
2	Please check all boxes that apply and provide more detail in Sections 3 and 4:		
Work	Work Category Details		
Roofing	Replacement Minor repair	□Shingles only □Soffit, fascia, or trim work □Matching existing materials □Change of materials (EG, replacing asphalt with metal)	
Gutters	□ New or repair Replacement □ Removal	□Change of materials □Match existing historic materials (metal, etc.) □Use new modern materials (vinyl, etc.)	
Siding	☐ Minor repair ☐ Replacement	□Change of materials□Match historic materials (wood, cement board, etc.)□Use modern materials (plastic, vinyl aluminum, etc.)	
☐ Exterior windows and doors	☐ Add new ☐ Replacement ☐ Removal	 □Change in dimension or location (height, length) □Match historic materials (wood, metal, glass, etc.) □Use modern material (plastic, vinyl, aluminum, etc.) □Removal, covering or alteration of original trim 	
	☐ New ☐ Repair ☐ Replacement	□Use new modern materials (vinyl, aluminum, etc.) □Matching historic materials (wood, stone, etc.)	
□ Porch	☐ Minor repair☐ Replacement☐ Removal☐ Add new	□Match historic material (wood, metal, etc.)□Use new modern material (plastic, vinyl, aluminum, etc.)□Column, railing, or skirting□Decking	
☐ Sidewalk or paving	□ New □ Repair □ Replacement	□Recreating □Matching existing materials □Other:	
☐ New construction	☐ Addition☐ New building☐ Façade alteration	☐Recreating missing architectural features ☐Removing architectural features ☐Other:	
□ Signage and exterior lighting	□ New□ Repair□ Replacement	□ <u>Signage (Complete Sign Permit Application instead).</u> □ Lighting □ New alternative materials □ Matching existing materials	
□Other	□ New □ Repair □ Replacement □ Removal	□ New modern materials □ Match existing materials □ Removal or altering of original architectural details □	

CK STM YWE

SECTION	PROPOSED WORK SUMMARY
	3A For each Item that was checked in the left-hand column of Section 2, provide a more detailed description of the work proposed to be done: Asphalt Shirle - Asphalt Shirle Panble Y" Aluminum To Donbk Y" Ving! More and Clapboard
3	Pursuant to State Statute 62.23(7)(em)(2m) replacement materials shall be similar in design color, scale, architectural appearance, and other visual qualities. Please help the HPC or city staff better understand your project proposal by providing the following information: 3B Will your project include replacing materials original to your historic building, including: siding, windows, trim, doors, etc?
	3C If so, summarize any attempts to repair the original materials and attach a contractor estimate that demonstrates the un-reparability of original materials:

SECTION	SUPPLEMENTAL QUESTIONS
	4A Will the proposed work alter any of the distinctive features or historic architectural details of the property?
	4B Please briefly describe how the proposed work will conform to the Standards and Guidelines of the Secretary of the U. S. Dept. of the Interior for the Rehabilitation of His-
4	toric Properties (available at www.nps.gov/tps/standards/rehabilitation.htm and at City Hall.) Adherence to these standards and guidelines will help assure your property's eligibility for potential State and Federal tax credits.
	4C Have you submitted this project for state or federal tax credits?

Application No.: HPC-2024-____

SECTION	REQUIRED ATTACHMENTS
5	Please attach the following required items using the space below or additional sheets as necessary, Each attachment should be marked with an exhibit number: 1. Clear photo(s) of every portion of the property affected by the work 2. Historic photograph (if available) 3. Exterior elevations or sketches of existing conditions and proposed work 4. Samples or specifications of proposed materials 5. If Section 3B applies, evidence of un-reparability 6. Site plan (if applicable) 7. Print or PDF of State of WI historic property information, available by searching the property address at www.wisconsinhistory.org
	8. Additional attachments that may assist in understanding the proposed work
	EXHIBIT:

18/20 Montgomery Court





PROPERTY RECORD 18 MONTGOMERY ST

Architecture and History Inventory



NAMES

Historic Name: Other Name:

Contributing: Yes

Reference Number: 85261

PROPERTY LOCATION

Location (Address): 18 MONTGOMERY ST

County: Rock
City: Evansville
Township/Village:

Unincorporated Community:

Town:
Range:
Direction:
Section:

Quarter Section:

Quarter/Quarter Section:

PROPERTY FEATURES

Year Built: Additions:

Survey Date: **2006** Historic Use: **house**

Architectural Style: Gabled Ell

Time in tab: 0m 20s

Structural System:

Wall Material: Aluminum/Vinyl Siding

Architect:

Other Buildings On Site:

Demolished?: **No** Demolished Date:

NATIONAL AND STATE REGISTER OF HISTORIC PLACES

National/State Register Listing Name: Evansville Historic

District

National Register Listing Date: 11/16/1978

State Register Listing Date: **1/1/1989**National Register Multiple Property Name:

NOTES

Additional Information: BUILT BETWEEN 1871 AND 1883

ACCORDING TO BIRD'S EYE VIEWS.

Bibliographic References: BIRD'S EYE VIEW OF EVANSVILLE,

WI. MADISON: J. J. STONER, 1883. BIRD'S EYE VIEW OF EVANSVILLE, WI. CHICAGO: CHICAGO LITHOGRAPHING CO.,

1871.

RECORD LOCATION

Wisconsin Architecture and History Inventory, State Historic Preservation Office, Wisconsin Historical Society, Madison, Wisconsin

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- AHI number
- Information to be added or changed

Time in tab: 0m 20s



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

CITY OF EVANSVILLE HISTORIC PRESERVATION COMMISSION 31 S. Madison St, PO Box 529, Evansville, WI 53536

\$0.00 **Application** Fee

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SECTION	APPLICANT and/or OWNER INFORMATION	HISTORIC PROPERTY INFORMATION	
	Applicant Name: Thick construction	Historic Property Address:	
		53-55 N Madisin ST	
	Applicant Mailing Address:	Evansville, WI 53536	
	2134 Huy 14	The following information is available or	
51	June 1/2 4: 53545	the property's tax bill:	
	Applicant Phone: 608-75/-/196	Parcel Tax ID Number: 222	
	If different from above, please provide:	Parcel Number: 6-27	
		The following information is available by	
П	Owner Name: Jha William ha	searching the property address at	
	Owner Address: 15 9 Gashield	www.wisconsinhistory.org/records):	
		Historic Property Name:	
	Owner Phone: 882~5733	AHI Number:	
	Owner Email:	Contributing: Y or N	

INSTRUCTIONS: Complete this entire form and submit by mail or email the following:

- 1. Application Form with attachments (as outlined in Section 3C and 5):
 - o Clear photo(s) of every portion of the property that will be affected by the work
 - Historic photograph(s) (if available)
 - o Exterior elevations or sketches of existing conditions and proposed work
 - Samples or specifications of proposed materials
 - o If Section 3B applies, evidence of un-reparability
 - Site plan (if applicable)
 - o Print or PDF of State of WI historic property information, available by searching the property address at <u>www.wisconsinhistory.org</u>
- 2. <u>Building Permit</u> (work cannot begin until Building Inspector has approved a Building Permit)

All applications are to be submitted and deemed complete at least 10 days prior to the HPC meeting. HPC typically meets on the third Wednesday of each month at 6:00pm in City Hall. Applicants are encouraged to appear in person.

Thank you for helping to value and protect "one of the most intact nineteenth century	townscapes in southern Wisconsin"
and "the finest collection of 1840s – 1915 architecture of any small town in Wisconsin"	- Wisconsin State Historic Society
SUBMITTED BY:	DATE: 4/12/25
Owner or Applicant Signature	

Application No.: HPC-2024-____

SECTION	PROPOSED WORK CHECKLIST		
2	Please check all boxes that apply and provide more detail in Sections 3 and 4:		
Work	Work Category Details		
Roofing	Replacement Minor repair	Shingles only Soffit, fascia, or trim work Matching existing materials Change of materials (EG, replacing asphalt with metal)	
☆ Gutters	□ New or repair Replacement □ Removal	□Change of materials Match existing historic materials (metal, etc.) □Use new modern materials (vinyl, etc.)	
¥ Siding	Minor repair Replacement	□ Match historic materials (wood, cement board, etc.) □ Watch materials (plastic, vinyl aluminum, etc.)	
☐ Exterior windows and doors	☐ Add new ☐ Replacement ☐ Removal	□Change in dimension or location (height, length) □Match historic materials (wood, metal, glass, etc.) □Use modern material (plastic, vinyl, aluminum, etc.) □Removal, covering or alteration of original trim	
☐ Fences	☐ New ☐ Repair ☐ Replacement	☐ Use new modern materials (vinyl, aluminum, etc.) ☐ Matching historic materials (wood, stone, etc.)	
□ Porch	☐ Minor repair☐ Replacement☐ Removal☐ Add new	□Match historic material (wood, metal, etc.)□Use new modern material (plastic, vinyl, aluminum, etc.)□Column, railing, or skirting□Decking	
□ Sidewalk or paving	□ New □ Repair □ Replacement	□Recreating □Matching existing materials □Other:	
□ New construction	☐ Addition☐ New building☐ Façade alteration	□Recreating missing architectural features □Removing architectural features □Other:	
□ Signage and exterior lighting	□ New□ Repair□ Replacement	□ <u>Signage (Complete Sign Permit Application instead).</u> □ Lighting □ New alternative materials □ Matching existing materials	
□Other	□ New □ Repair □ Replacement □ Removal	□New modern materials □Match existing materials □Removal or altering of original architectural details □	

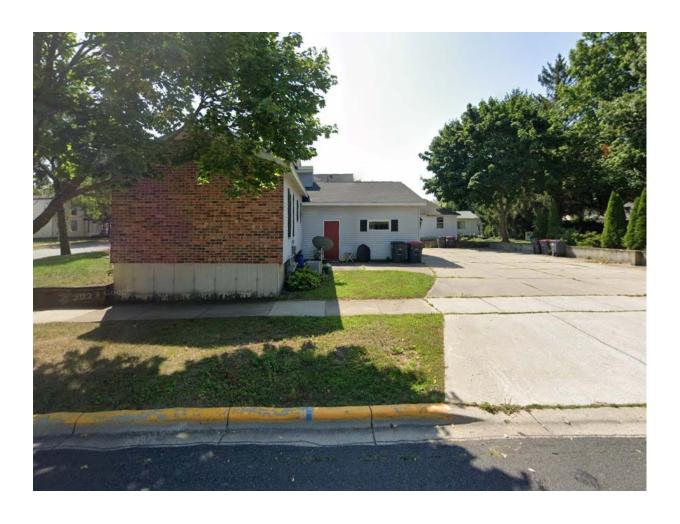
28 38 W P&H

SECTION	PROPOSED WORK SUMMARY
3	3A For each Item that was checked in the left-hand column of Section 2, provide a more detailed description of the work proposed to be done: Asphalt shades Asphalt Shades Poulde Y in Moragam Claphon Viny Pursuant to State Statute 62.23(7)(em)(2m) replacement materials shall be similar in design color, scale, architectural appearance, and other visual qualities. Please help the HPC or city staff better understand your project proposal by providing the following information: 3B Will your project include replacing materials original to your historic building, including: siding, windows, trim, doors, etc? 3C If so, summarize any attempts to repair the original materials and attach a contractor estimate that demonstrates the un-reparability of original materials:

SECTION	SUPPLEMENTAL QUESTIONS
4	4A Will the proposed work alter any of the distinctive features or historic architectural details of the property?
	4B Please briefly describe how the proposed work will conform to the Standards and Guidelines of the Secretary of the U. S. Dept. of the Interior for the Rehabilitation of His toric Properties (available at www.nps.gov/tps/standards/rehabilitation.htm and at City Hall.) Adherence to these standards and guidelines will help assure your property's eligibility for potential State and Federal tax credits.
	4C Have you submitted this project for state or federal tax credits?

53 and 55 N Madison





53 and 55 N Madison



PROPERTY RECORD 53-55 N MADISON ST

Architecture and History Inventory







NAMES

Historic Name: WILLIAM T. HALL HOUSE

Other Name: Contributing:

Reference Number: 85186

PROPERTY LOCATION

Location (Address): 53-55 N MADISON ST

County: Rock
City: Evansville
Township/Village:

Unincorporated Community:

Town:
Range:
Direction:
Section:

Quarter Section:

Quarter/Quarter Section:

PROPERTY FEATURES

Year Built: Additions:

Survey Date: 20062024

Historic Use: house

Architectural Style: Greek Revival

Time in tab: 0m 30s

×

Structural System:

Wall Material: Aluminum/Vinyl Siding

Architect:

Other Buildings On Site:

Demolished?: **No** Demolished Date:

NATIONAL AND STATE REGISTER OF HISTORIC PLACES

National/State Register Listing Name: Evansville Historic

District

National Register Listing Date: 11/16/1978

State Register Listing Date: **1/1/1989**National Register Multiple Property Name:

NOTES

Additional Information: THE ORIGINAL GREEK REVIVAL STYLE HOUSE ON THIS SITE WAS BUILT PRIOR TO 1871. SOMETIME AFTER 1978, THE ORIGINAL HOUSE WAS EITHER DEMOLISHED OR COMPLETELY REMODELED AND THE PRESENT TWO-STORY ALUMINUM-SIDED DUPLEX WAS BUILT IN ITS PLACE, POSSIBLY ON THE SAME FOOTPRINT AS THE ORIGINAL.

Bibliographic References: BIRD'S EYE VIEW OF EVANSVILLE, WI. CHICAGO: CHICAGO LITHOGRAPHING CO., 1871. ADDRESS FILES. LEONARD P. EAGER LOCAL HISTORY ROOM, EAGER FREE PUBLIC LIBRARY.

RECORD LOCATION

Wisconsin Architecture and History Inventory, State Historic Preservation Office, Wisconsin Historical Society, Madison, Wisconsin

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leah.penzkover@wisconsinhistory.org

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Time in tab: 0m 30s

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\$0.00
Application
Fee

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		15 5 Gar Ard
	Applicant Mailing Address:	Evansville, WI 53536
	2134 Hy14	The following information is available on
	June 11/1 11: 53545	the property's tax bill:
	2134 Hy14 June 11. 11 11 53545 Applicant Phone: 608-75, 1196 Applicant Email: Philesent. 2-5mi.)	Parcel Tax ID Number: 222
7	Applicant Email: Thirde real 2 - gra:	Parcel Number: 6-27
	ir different from above, please provide:	The following information is available by
L L	Owner Name: John Millorg boy	searching the property address at
	Owner Address: 15 Squillel	www.wisconsinhistory.org/records):
		Historic Property Name:
	Owner Phone: 882 - 5733	AHI Number:
	Owner Email:	Contributing: Y or N

INSTRUCTIONS: Complete this entire form and submit by mail or email the following:

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 - Historic photograph(s) (if available)
 - Exterior elevations or sketches of existing conditions and proposed work
 - Samples or specifications of proposed materials
 - o If Section 3B applies, evidence of un-reparability
 - Site plan (if applicable)
 - Print or PDF of State of WI historic property information, available by searching the property address at <u>www.wisconsinhistory.org</u>
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Thank you for helping to value and protect "one of the most intact nineteenth century to and "the finest collection of 1840s — 1915 architecture of any small town in Wisconsin".	
SUBMITTED BY:	DATE:
Owner or Applicant Signature	

Application No.: HPC-2024-____

SECTION	PROPOSED WORK CHECKLIST		
2	Please check all boxes that apply and provide more detail in Sections 3 and 4:		
Work	Work Category Details		
Roofing	Replacement Minor repair	Shingles only Soffit, fascia, or trim work Matching existing materials Change of materials (EG, replacing asphalt with metal)	
₩ Gutters	□ New or repair Replacement □ Removal	□Change of materials Match existing historic materials (metal, etc.) □Use new modern materials (vinyl, etc.)	
Siding	☐ Minor repair ☑ Replacement	Change of materials Match historic materials (wood, cement board, etc.) Vuse modern materials (plastic, vinyl aluminum, etc.)	
☐ Exterior windows and doors	☐ Add new ☐ Replacement ☐ Removal	 □ Change in dimension or location (height, length) □ Match historic materials (wood, metal, glass, etc.) □ Use modern material (plastic, vinyl, aluminum, etc.) □ Removal, covering or alteration of original trim 	
☐ Fences	☐ New ☐ Repair ☐ Replacement	□Use new modern materials (vinyl, aluminum, etc.) □Matching historic materials (wood, stone, etc.)	
□ Porch	☐ Minor repair☐ Replacement☐ Removal☐ Add new	☐Match historic material (wood, metal, etc.)☐Use new modern material (plastic, vinyl, aluminum, etc.)☐Column, railing, or skirting☐Decking	
☐ Sidewalk or paving	□ New □ Repair □ Replacement	□Recreating □Matching existing materials □Other:	
☐ New construction	☐ Addition☐ New building☐ Façade alteration	□Recreating missing architectural features □Removing architectural features □Other:	
□ Signage and exterior lighting	□ New □ Repair □ Replacement	□ <u>Signage (Complete Sign Permit Application instead).</u> □ Lighting □ New alternative materials □ Matching existing materials	
□Other	□ New□ Repair□ Replacement□ Removal	□New modern materials □Match existing materials □Removal or altering of original architectural details □	

3A For each Item that was checked in the left-hand column of Section 2, provide a more detailed description of the work proposed to be done: Age has I Sharks - Asphalt Sharks Pursuant to State Statute 62.23(7)(em)(2m) replacement materials shall be similar in design color, scale, architectural appearance, and other visual qualities. Please help the HPC or city staff better understand your project proposal by providing the following information: 3B Will your project include replacing materials original to your historic building, including: siding, windows, trim, doors, etc? 3C If so, summarize any attempts to repair the original materials and attach a con-	SECTION	PROPOSED WORK SUMMARY
design color, scale, architectural appearance, and other visual qualities. Please help the HPC or city staff better understand your project proposal by providing the following information: 3B Will your project include replacing materials original to your historic building, including: siding, windows, trim, doors, etc?		more detailed description of the work proposed to be done: Agghal I Shayles - Asghal T Shayles
cluding: siding, windows, trim, doors, etc?	3	design color, scale, architectural appearance, and other visual qualities. Please help the HPC or city staff better understand your project proposal by providing the following information:

SECTION	SUPPLEMENTAL QUESTIONS
	4A Will the proposed work alter any of the distinctive features or historic architectural details of the property?
	No
4	4B Please briefly describe how the proposed work will conform to the Standards and Guidelines of the Secretary of the U. S. Dept. of the Interior for the Rehabilitation of Historic Properties (available at www.nps.gov/tps/standards/rehabilitation.htm and at City Hall.) Adherence to these standards and guidelines will help assure your property's eligibility for potential State and Federal tax credits. 4C Have you submitted this project for state or federal tax credits?

PROPERTY RECORD 15 GARFIELD AVE

Architecture and History Inventory



NAMES

Historic Name: Other Name:

Contributing: Yes

Reference Number: 85059

PROPERTY LOCATION

Location (Address): 15 GARFIELD AVE

County: Rock
City: Evansville
Township/Village:

Unincorporated Community:

Town:
Range:
Direction:
Section:

Quarter Section:

Quarter/Quarter Section:

PROPERTY FEATURES

Year Built: 1906

Additions:

Survey Date: **2006** Historic Use: **house**

Architectural Style: Queen Anne

Time in tab: 4m 15s

×

Structural System:

Wall Material: Aluminum/Vinyl Siding

Architect:

Other Buildings On Site:

Demolished?: **No** Demolished Date:

NATIONAL AND STATE REGISTER OF HISTORIC PLACES

National/State Register Listing Name: Evansville Historic

District

National Register Listing Date: 11/16/1978

State Register Listing Date: **1/1/1989**National Register Multiple Property Name:

NOTES

Additional Information:

Bibliographic References: SANBORN-PERRIS MAPS OF EVANSVILLE, WI. NEW YORK: 1914. PLAT BOOK OF ROCK CO., WI. MINNEAPOLIS: C. M. FOOTE & CO., 1891. Abstract.

RECORD LOCATION

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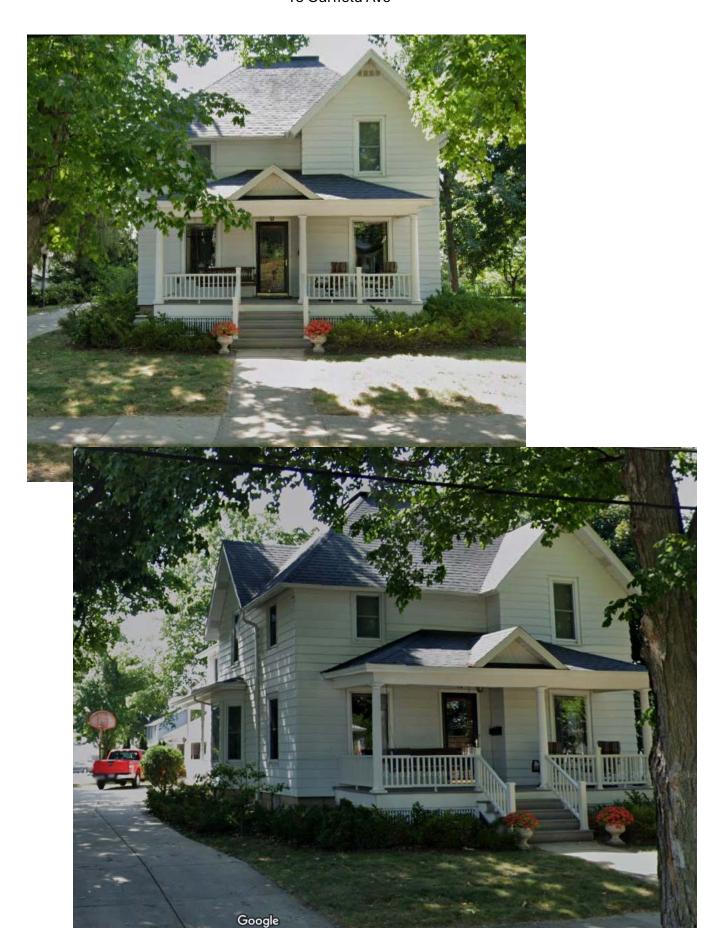
If you have an update, correction, or addition to a record, please include this in your message:

- AHI number
- Information to be added or changed
- Source information

Time in tab: 4m 15s

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15 Garfield Ave





APPLICATION FOR

CERTIFICATE OF APPROPRIATENESS

CITY OF EVANSVILLE HISTORIC PRESERVATION COMMISSION 31 S. Madison St, PO Box 529, Evansville, WI 53536 \$0.00
Application
Fee

This is a request for issuance of a Certificate of Appropriateness (COA) by the Historic Preservation Commission (HPC) for work proposed to be performed on the exterior of a structure located in any Historic District or designated by the State or City as a historic building or historic site. Complete all sections of this form – it is used to determine if the proposal should be reviewed by staff or the HPC.

Submit questions or completed applications to address above, or via email to the Community Development Director, Colette Spranger, at: (608) 882-2263 or c.spranger@evansvillewi.gov.

SECTION	APPLICANT and/or OWNER INFORMATION	HISTORIC PROPERTY INFORMATION
$\overline{1}$	Applicant Name:	Historic Property Address:
	Ryan Gonwa/Cassie Elmer	242 W. Church St.
	Applicant Mailing Address:	Evansville, WI 53536
	242 W. Church St.	The following information is available on
	Evansville, WI 53536	the property's tax bill:
	Applicant Phone: 608-234-7555 (Ryan) 608-642-4197 (Cassie)	Parcel Tax ID Number: 222 001067
	Applicant Email: ryan.gonwa@gmail.com	Parcel Number: 6-27-71
	If different from above, please provide:	The following information is available by
	Owner Name:	searching the property address at www.wisconsinhistory.org/records):
	Owner Address:	www.wisconsillinisiory.org/records_j.
		Historic Property Name: None
	Owner Phone:	AHI Number: 85054
	Owner Email:	Contributing: Yes

INSTRUCTIONS: Complete this entire form and submit by mail or email the following:

- 1. <u>Application Form with attachments</u> (as outlined in Section 3C and 5):
 - Clear photo(s) of every portion of the property that will be affected by the work
 - Historic photograph(s) (if available)
 - Exterior elevations or sketches of existing conditions and proposed work
 - Samples or specifications of proposed materials
 - If Section 3B applies, evidence of un-reparability
 - Site plan (if applicable)
 - Print or PDF of State of WI historic property information, available by searching the property address at www.wisconsinhistory.org

		Application No.: HPC-2025	
_	applications are to be su	brit cannot begin until Building Inspector has approved a Building abmitted and deemed complete at least 10 days prior to the HPC meeting. HPC lay of each month at 6:00pm in City Hall. Applicants are encouraged to appear in	
	collection of 1840s – 19	tect "one of the most intact nineteenth century townscapes in southern Wisconsin" 5 architecture of any small town in Wisconsin" – Wisconsin State Historic Society Cassie Elmen DATE:5/23/25	
Owner or Applicant Signature			
I:\Community Development\Forms\Application Forms - Word Format\HPC COA Application-2-2024.docx			
SECTION	PROPOSED WORK	CHECKLIST	
2	Please check all boxes that apply and provide more detail in Sections 3 and 4:		
Work	Category	Work Category Details	
x Roofing	x Replacement Minor repair	□Shingles only □Soffit, fascia, or trim work X Matching existing materials □Change of materials (EG, replacing asphalt with metal)	
x Gutters	□ New or repairx Replacement□ Removal		
x Siding	☐ Minor repair x Replacement	X Change of materials Match historic materials (wood, cement board, etc.) Use modern materials (plastic, vinyl aluminum, etc.)	
x Exterior	☐ Add new	☐Change in dimension or location (height, length) ☐Match historic materials (wood, metal, glass, etc.)	

X Use modern material (plastic, vinyl, aluminum, etc.)

☐ Use new modern materials (vinyl, aluminum, etc.)

□Removal, covering or alteration of original trim

☐ Matching historic materials (wood, stone, etc.)

windows

and doors

□ Fences

x Replacement

☐ Replacement

 \square Removal

□ New

□ Repair

Application No.: HPC-2025-___

□ Porch	☐ Minor repair ☐ Match historic material (wood, metal, etc.) ☐ Replacement ☐ Use new modern material (plastic, vinyl, aluminum, etc.) ☐ Removal ☐ Column, railing, or skirting ☐ Add new ☐ Decking		
☐ Sidewalk or paving	□ New □ Recreating □ Repair □ Matching existing materials □ Replacement □ Other:		
□ New construction	□ Addition □ New building □ Façade alteration □ Recreating missing architectural features □ Removing architectural features □ Other:		
Signageandexteriorlighting	□ New □ Repair □ Replacement □ Matching existing materials		
X Other	□ New □ Repair x Replacement □ Removal □ Removal □ New modern materials □ Match existing materials □ Removal or altering of original architectural details X Removal of existing modern materials and installation of historical material		
SECTION	PROPOSED WORK	SUMMARY	
3	3A For each Item that was checked in the left-hand column of Section 2, provide a more detailed description of the work proposed to be done:		
	The roof will be replaced in kind with an asphalt shingle roof. The existing aluminum siding that needs 2 sides replaced will be fully replaced with new vinyl siding. The existing aluminum gutters will be replaced in kind. The existing broken windows will be replaced in kind. The existing plastic shutters will be replaced with new wooden board and batten shutters, on the South Elevation.		
-			
	Pursuant to State Statute 62.23(7) (em) (2m) replacement materials shall be similar in design color, scale, architectural appearance, and other visual qualities. Please help the HPC or city staff better understand your project proposal by providing the following information:		
	3B Will your project include replacing materials original to your historic building, including: siding, windows, trim, doors, etc? No		
	inclouding, stalling, w	MINOWS, IIIII, GOOIS, GICY INU	
-		e any attempts to repair the original materials and attach a re that demonstrates the un-reparability of original materials:	
-			

Application No.: HPC-2025-**SECTION SUPPLEMENTAL QUESTIONS 4A** Will the proposed work alter any of the distinctive features or historic architectural details of the property? No, aesthetically, the siding will be the same width and orientation. 4B Please briefly describe how the proposed work will conform to the Standards and Guidelines of the Secretary of the U.S. Dept. of the Interior for the Rehabilitation of Historic Properties (available at www.nps.gov/tps/standards/rehabilitation.htm and at City Hall.) Adherence to these standards and guidelines will help assure your property's eligibility for potential State and Federal tax credits. The materials being replaced are not original to the house, and currently, aluminum siding is hard to acquire, and color matching of aluminum is almost impossible. We would like to replace the entire house's siding aluminum siding with new vinyl siding. Other "approved" materials, such as LP Smart siding, are cost prohibitive.

4C Have you submitted this project for state or federal tax credits?

No

242 W. Church Street Evansville, WI

South Elevation:



East Elevation:



West Elevation:



North Elevation:



Historic Photo (South Elevation):



PROPERTY RECORD 242 W CHURCH ST

Architecture and History Inventory



NAMES

Historic Name: Other Name: Contributing: **Yes**

Reference Number: 85054

PROPERTY LOCATION

Location (Address): 242 W CHURCH ST

County: **Rock**City: **Evansville**Township/Village:

Unincorporated Community:

Town:
Range:
Direction:
Section:

Quarter Section:

Quarter/Quarter Section:

PROPERTY FEATURES

Year Built: Additions:

Survey Date: **2006** Historic Use: **house**

Architectural Style: Italianate

Structural System:

Wall Material: Aluminum/Vinyl Siding

Architect:

Other Buildings On Site:

Demolished?: **No** Demolished Date:

National/State Register Listing Name: Evansville Historic District

National Register Listing Date: 11/16/1978

State Register Listing Date: **1/1/1989**National Register Multiple Property Name:

NOTES

Additional Information: BUILT BETWEEN 1871 AND 1883 ACCORDING TO BIRD'S EYE VIEWS/

Bibliographic References: BIRD'S EYE VIEW OF EVANSVILLE. MADISON: J. STONER, 1883. BIRD'S EYE VIEW OF EVANSVILLE. CHICAGO: CHICAGO LITHOGRAPHING CO., 1871.

RECORD LOCATION

Wisconsin Architecture and History Inventory, State Historic Preservation Office, Wisconsin Historical Society, Madison, Wisconsin

Have Questions?

If you didn't find the record you were looking for, or have other questions about historic preservation, please email us and we can help:

leah.penzkover@wisconsinhistory.org

If you have an update, correction, or addition to a record, please include this in your message:

- AHI number
- Information to be added or changed
- Source information

Note: When providing a historical fact, such as the story of a historic event or the name of an architect, be sure to list your sources. We will only create or update a property record if we can verify a submission is factual and accurate.

How to Cite

For the purposes of a bibliography entry or footnote, follow this model:

Wisconsin Architecture and History Inventory Citation

Wisconsin Historical Society, Wisconsin Architecture and History Inventory, "Historic Name", "Town", "County", "State", "Reference Number".

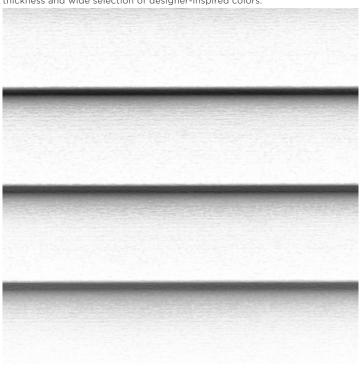


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Due to screen resolution limitations, product colors may not be exactly as shown. Pricing varies based on siding profile and colors. Please check with your distributor or contractor for pricing details.

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4.5" Dutch			Smooth	Smooth
Lap				

LIGHT SIDING COLORS



CLASSIC SIDING COLORS



DEEP SIDING COLORS



FIND A PRO

Features & Benefits

Video: Product Details

Literature

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MASTIC Vinyl Soffit

These narrow "ceilings" bridge the gap between siding and roofline and can aide in ventilation.



PLY GEM
Shutters and Accessories

From charming, designer-curated shutters to coordinated mounts, blocks and vents, Ply Gem products make it easy to add the perfect finishing touches to any home.



PLY GEM

Trim and Moulding

From graceful mantels to crown mouldings to crisp corner posts, trim adds an elegant finishing touch to the exterior of any home.



PLY GEM

Performance Metals

This collection of beautiful, high-performance metal and rainware products includes: aluminum siding, soffit, fascia, coil, gutters and gutter protection in a full range of colors.

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MASTIC by PlyGem

PLY GEM BRANDS

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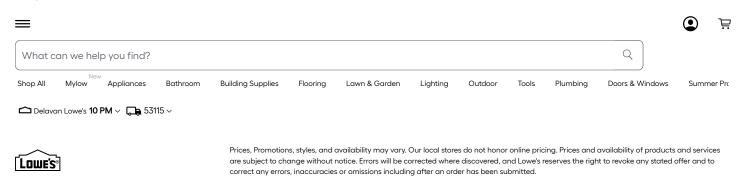


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40 Available

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APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

CITY OF EVANSVILLE HISTORIC PRESERVATION COMMISSION 31 S. Madison St, PO Box 529, Evansville, WI 53536

\$0.00 **Application** Fee

This is a request for issuance of a Certificate of Appropriateness (COA) by the Historic Preservation Commission (HPC) for work proposed to be performed on the exterior of a structure located in any Historic District or designated by the State or City as a historic building or historic site. Complete all sections of this form – it is used to determine if the proposal should be reviewed by staff or the HPC. Submit questions or completed applications to address above, or via email to the Community Development Director, Colette Spranger, at: (608) 882-2263 or c.spranger@evansvillewi.gov.

SECTION	APPLICANT and/or OWNER INFORMATION	HISTORIC PROPERTY INFORMATION
	Applicant Name:	Historic Property Address:
	Applicant Mailing Address:	Evansville, WI 53536 The following information is available on the property's tax bill:
	Applicant Phone:	Parcel Tax ID Number: 222
	Applicant Email:	Parcel Number: 6-27
	If different from above, please provide:	The following information is available by
	Owner Name:	searching the property address at
	Owner Address:	www.wisconsinhistory.org/records):
		Historic Property Name:
	Owner Phone:	AHI Number:
	Owner Email:	Contributing: Y or N

INSTRUCTIONS: Complete this entire form and submit by mail or email the following:

- 1. Application Form with attachments (as outlined in Section 3C and 5):
 - Clear photo(s) of every portion of the property that will be affected by the work
 - Historic photograph(s) (if available)
 - o Exterior elevations or sketches of existing conditions and proposed work
 - o Samples or specifications of proposed materials
 - o If Section 3B applies, evidence of un-reparability
 - o Site plan (if applicable)
 - o Print or PDF of State of WI historic property information, available by searching the property address at www.wisconsinhistory.org
- 2. Building Permit (work cannot begin until Building Inspector has approved a Building Permit)

All applications are to be submitted and deemed complete at least 10 days prior to the HPC meeting. HPC typically meets on the third Wednesday of each month at 6:00pm in City Hall. Applicants are encouraged to appear in person.

3 1 3	o value and protect "one of the most intact nineteenth century to on of 1840s - 1915 architecture of any small town in Wisconsin"	· · · · · · · · · · · · · · · · · · ·
SUBMITTED BY:		DATE:
	Owner or Applicant Signature	

Application No.: HPC-2025-____

SECTION	PROPOSED WORK	CHECKLIST
	Please check all k	poxes that apply and provide more detail in Sections 3 and 4:
Work Category		Work Category Details
☐ Roofing	☐ Replacement☐ Minor repair	□Shingles only □Soffit, fascia, or trim work □Matching existing materials □Change of materials (EG, replacing asphalt with metal)
☐ Gutters	☐ New or repair☐ Replacement☐ Removal	□Change of materials □Match existing historic materials (metal, etc.) □Use new modern materials (vinyl, etc.)
☐ Siding	☐ Minor repair ☐ Replacement	□Change of materials □Match historic materials (wood, cement board, etc.) □Use modern materials (plastic, vinyl aluminum, etc.)
☐ Exterior windows and doors	☐ Add new ☐ Replacement ☐ Removal	□Change in dimension or location (height, length) □Match historic materials (wood, metal, glass, etc.) □Use modern material (plastic, vinyl, aluminum, etc.) □Removal, covering or alteration of original trim
☐ Fences	☐ New ☐ Repair ☐ Replacement	☐Use new modern materials (vinyl, aluminum, etc.) ☐Matching historic materials (wood, stone, etc.)
□ Porch	☐ Minor repair☐ Replacement☐ Removal☐ Add new	☐Match historic material (wood, metal, etc.) ☐Use new modern material (plastic, vinyl, aluminum, etc.) ☐Column, railing, or skirting ☐Decking
☐ Sidewalk or paving	□ New□ Repair□ Replacement	□Recreating □Matching existing materials □Other:
□ New construction	☐ Addition ☐ New building ☐ Façade alteration	□Recreating missing architectural features □Removing architectural features □Other:
☐ Signage and exterior lighting	☐ New ☐ Repair ☐ Replacement	□ <u>Signage (Complete Sign Permit Application instead).</u> □ Lighting □ New alternative materials □ Matching existing materials
□Other	□ New□ Repair□ Replacement□ Removal	□New modern materials□Match existing materials□Removal or altering of original architectural details□

SECTION	PROPOSED WORK SUMMARY
	3A For each Item that was checked in the left-hand column of Section 2, provide a more detailed description of the work proposed to be done:
3	Pursuant to State Statute 62.23(7)(em)(2m) replacement materials shall be similar in design color, scale, architectural appearance, and other visual qualities. Please help the HPC or city staff better understand your project proposal by providing the following information: 3B Will your project include replacing materials original to your historic building, including: siding, windows, trim, doors, etc? 3C If so, summarize any attempts to repair the original materials and attach a contractor estimate that demonstrates the un-reparability of original materials:

	A Will the proposed work alter any of the distinctive features or historic architectural letails of the property?
Gi to Ci Ac te	B Please briefly describe how the proposed work will conform to the Standards and Guidelines of the Secretary of the U. S. Dept. of the Interior for the Rehabilitation of Hisporic Properties (available at www.nps.gov/tps/standards/rehabilitation.htm and at City Hall.) Independent of these standards and guidelines will help assure your property's eligibility for potential State and Federal tax credits. C Have you submitted this project for state or federal tax credits?

9This is an expanded description of work being done on 237 W Main St.

Roofing: Replace roof due to hail damage. There will be no change in the look of the roof, as patchwork-style shingles will be used, identical to the current shingles.

Siding: Replace siding due to hail damage. Identical vinyl siding will be used to replace the current, damaged vinyl siding.

Windows: Replace five damaged windows on the house and garage due to hail damage. None of these are original to the house, and there will be no visual change to the house.

Side porch: Complete removal and replacement. This was being held up by cinder blocks stacked on top of bricks. This will be replaced with properly done, to-code wooden framing. The porch will be extended to its historical length, allowing access to the servant's staircase on the back of the house once more. The columns will be replaced with visually identical wood columns, as they are rotten and unrepairable. The porch railings will be replaced with visually identical wooden railings. The porch decking will be replaced with visually-identical Azek material. A sample will be provided at the Historic Preservation Commission meeting. Skirting will be replaced with a version more accurate to the neighborhood, as opposed to the current "X" lattice style put on sometime after the 1979 remodel. See Exhibit 14 for an example.

Front porch: Complete removal and replacement. The decking was rotting and was starting to have issues supporting the columns to support the extended roof. This will be replaced with properly done, to-code wooden framing. The porch railings will be replaced with visually identical wooden railings. The porch dimensions will be identical to the previous porch. The columns will be replaced with visually identical wood columns, as they are rotten and unrepairable. See Exhibits 5 through 9 for examples. The porch decking will be replaced with visually-identical Azek material. A sample will be provided at the Historic Preservation Commission meeting. Skirting will be replaced with a version more accurate to the neighborhood, as opposed to the current "X" lattice style put on sometime after the 1979 remodel. See Exhibit 14 for an example.

Upstairs porch: Significant repair. Columns are rotten and no longer safely supporting the roof's weight. See Exhibits 11 through 13 for examples. They will be replaced with visually identical wood columns. The porch railings will be replaced with visually identical wooden railings. They are currently unsafely holding the rotted columns' load, and are not properly attached to the porch columns. See Exhibit 10 for an example of the unsatisfactory repair that was made prior to the current owners taking possession of the house.

Addition: Addition put onto the rear of the house. A PDF of the architectural drawings have been provided. Visually, as the siding is already being replaced on the entire house, the siding and windows will match the rest of the house. The roof for it will also be shingled with patchwork shingles, to match the rest of the house.





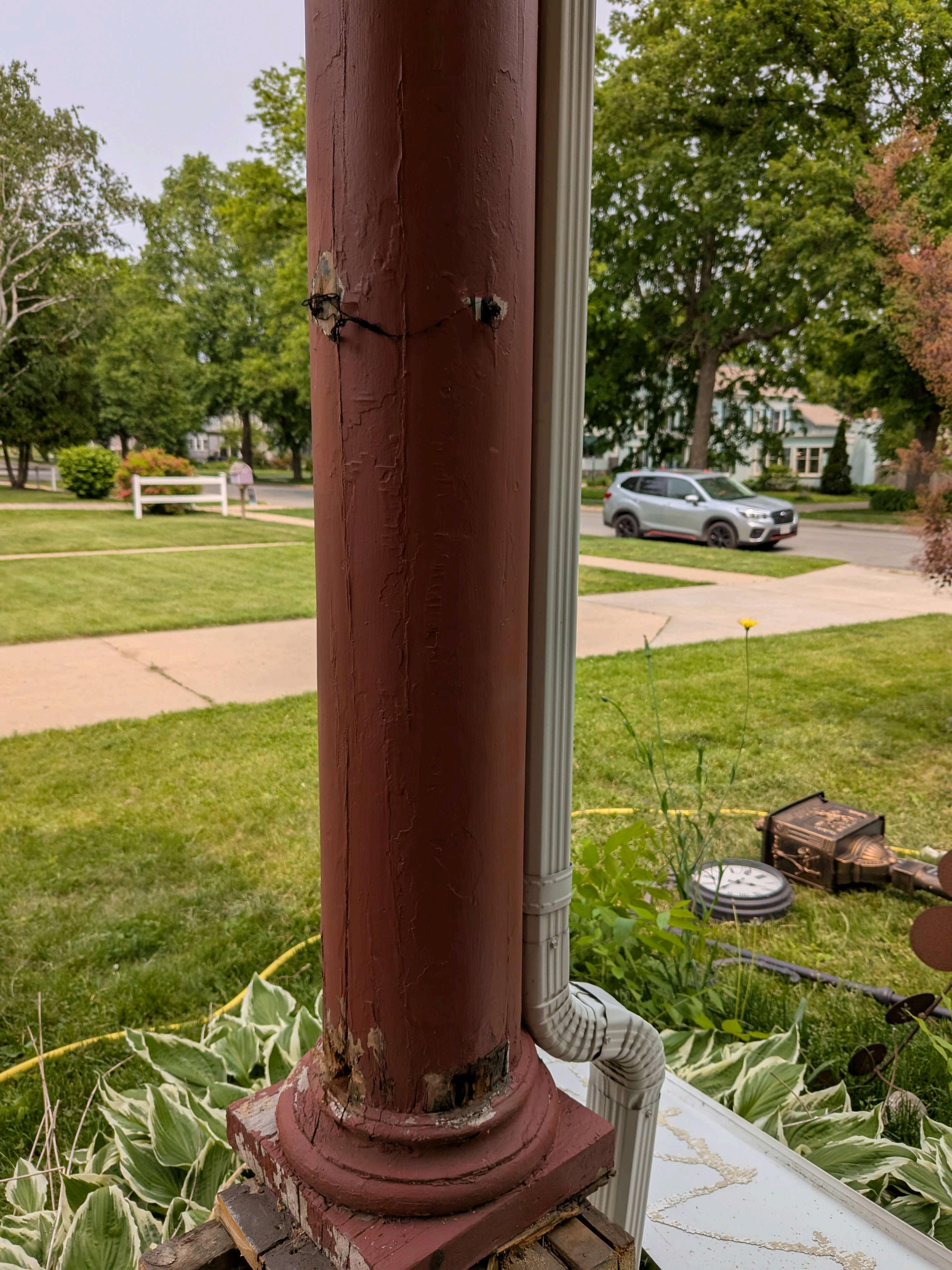


Residence of E. E. Smith. Photo by Combs

237 West Main





















PROPERTY RECORD 237 W MAIN ST

Architecture and History Inventory



NAMES

Historic Name: EDWARD E. SMITH HOUSE

Other Name:

Contributing: **Yes**

Reference Number: 85212

PROPERTY LOCATION

Location (Address): 237 W MAIN ST

County: **Rock**City: **Evansville**Township/Village:

Unincorporated Community:

Town:
Range:
Direction:
Section:

Quarter Section:

Quarter/Quarter Section:

PROPERTY FEATURES

Year Built: 1901

Additions:

Survey Date: **2006** Historic Use: **house**

Architectural Style: Queen Anne

2 of 8 6/11/2025, 18:48

, wo meeter an ory for **gacem , mine**

Structural System:

Wall Material: Aluminum/Vinyl Siding

Architect:

Other Buildings On Site:

Demolished?: **No** Demolished Date:

NATIONAL AND STATE REGISTER OF HISTORIC PLACES

National/State Register Listing Name: Evansville Historic

District

National Register Listing Date: 11/16/1978

State Register Listing Date: **1/1/1989**National Register Multiple Property Name:

NOTES

Additional Information: .

Bibliographic References: EVANSVILLE REVIEW. APRIL 25, 1901. ADDRESS FILES. LEONARD P. EAGER LOCAL HISTORY ROOM, EAGER FREE PUBLIC LIBRARY.

RECORD LOCATION

Wisconsin Architecture and History Inventory, State Historic Preservation Office, Wisconsin Historical Society, Madison, Wisconsin

Have Questions?

If you didn't find the record you were looking for, or have other questions about historic preservation, please email us and we can help:

leah.penzkover@wisconsinhistory.org

If you have an update, correction, or addition to a record, please include this in your message:

AHI number

3 of 8 6/11/2025, 18:48

PROJECT STATISTICS:

LOT SIZE:
ANTICIPATED DISTURBED AREA:
BLDG. ENVELOPE:
ROOF:
RIDGE HEIGHT:
LIVABLE S.F.
BASEMENT:
MAIN FLOOR:
2 ND ACC.

SITE PLAN NOTES:

SOIL: 1,500 PSF ALLOWABLE (ASSUMED) TO BE AT TIME OF EXCAVATION.

FROST DEPTH: 4'

SEISMIC ZONE: C

WIND EXPOSURE FACTOR: 1

WIND SPEED (3 SEC GUST) 115 MPH

WIND BUILDING DESIGN PRESSURE: 23 PSF

WIND EXPOSURE: B C D

SNOW IMPORTANCE FACTOR: 1

FLOOR LIVE LOAD: 40 PSF

FLOOR DEAD LOAD: 15 PSF

ROOF DEAD LOAD: 15 PSF

ROOF LIVE LOAD: 30 PSF

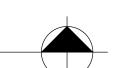
THERMAL FACTOR: 1

SNOW EXPOSURE FACTOR: 1

ATTIC VENTILATION: 1/300 SF OF ATTIC DIVIDED WITH 50% AT EAVE & 50% AT RIDGE OR ROOF VENTS

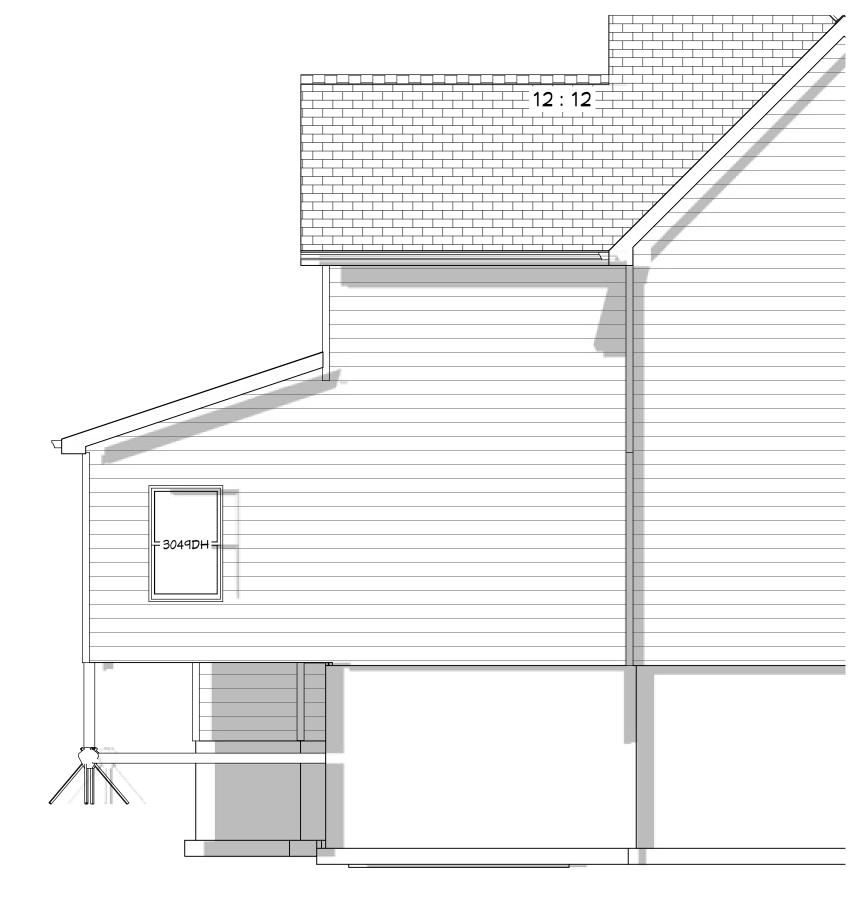


SOUTH ELEVATION



ADDITION

237 W MAIN, EVANSVILLE, WI 53536



EAST ELEVATION

1/4"=1'-0"

MISCELLANEOUS NOTES: (WHERE APPLICABLE)

EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44" ABOVE FIN. FLR.

ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING

SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEPHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNO ON PLANS.

ATTIC R-50

WALLS R-21 FLOORS R-30

PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2006 EDITION OF THE I.R.C.

PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES ACCORDING TO THE 2006 INTERNATIONAL BUILDING CODE.

SPECIAL INSPECTOR QUALIFICATIONS: DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION IN QUESTION. PRIOR TO THE BEGINNING OF CONSTRUCTION, REVIEW THE SPECIAL INSPECTION REQUIREMENTS WITH THE ARCHITECT, ENGINEER, BUILDING OFFICIAL, GENERAL CONTRACTOR AND SPECIAL INSPECTORS.

DUTIES OF THE SPECIAL INSPECTOR INCLUDE, BUT ARE NOT LIMITED TO:
OBSERVE THE WORK FOR CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND
SPECIFICATIONS. BRING DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE GENERAL
CONTRACTOR FOR BUILDING OFFICIAL.

FURNISH INSPECTION REPORTS FOR EACH INSPECTION TO THE BUILDING OFFICIAL, ARCHITECT, ENGINEER, GENERAL CONTRACTOR AND OWNER IN A TIMELY MANNER. SUBMIT A FINAL REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS INSPECTED, AND WHETHER THE WORK IS IN CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS.

DUTIES OF THE GENERAL CONTRACTOR INCLUDE, BUT ARE NOT LIMITED TO:
NOTIFY SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST 24 HOURS
BEFORE THE INSPECTION IS REQUIRED.
MAINTAIN ACCESS TO WORK REQUIRING SPECIAL INSPECTION UNTIL IT HAS BEEN

OBSERVED AND INDICATED TO BE IN CONFORMANCE BY THE SPECIAL INSPECTOR AND APPROVED BY THE BUILDING OFFICIAL.
PROVIDE THE SPECIAL INSPECTOR WITH ACCESS TO APPROVED PERMIT DRAWINGS AND SPECIFICATIONS AT THE JOB SITE.

PERIODIC INSPECTION: THE SPECIAL INSPECTOR IS ON SITE AS REQUIRED TO CONFIRM

MAINTAIN JOB-SITE COPIES OF ALL REPORTS SUBMITTED BY THE SPECIAL INSPECTOR.

DEFINITIONS:
CONTINUOUS INSPECTION: THE SPECIAL INSPECTOR IS OBSERVING THE WORK REQUIRING.

THAT THE WORK REQUIRING SPECIAL INSPECTION IS IN CONFORMANCE.

SPECIAL INSPECTION AT ALL TIMES.

W Liberty St

Garfield Ave

Garfield Ave

Emma's Table

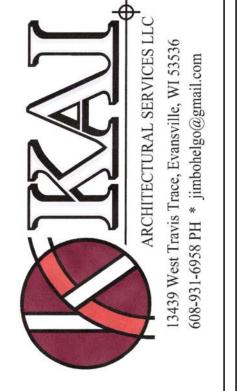
W Main St

W Main St

AREA MAP

SCALE AND MAY NOT
REFLECT EXACTLY WHAT IS
AVAILABLE FOR THE
PROJECT. RENDER VIEWS
ARE REPRESENTATIONS OF
WHAT THE VIEW COULD
LOOK LIKE, NOT WHAT IT
WILL LOOK LIKE.
2D VIEWS ALWAYS
SUPERCEDE 3D VIEWS

3D VIEWS ARE NOT TO



LICENSE NUMBER:

JERED MICKS
237 W MAIN
VANSVILLE, WI. 53536

TITLE SHEET & ELEVATIONS

DRAWN BY:

DATE: 6/12/2025

SCALE:

SHEET #:

GENERAL NOTES AND SPECIFICATIONS RESIDENTIAL CONSTRUCTION

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE CURRENT UDC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS,

ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

*8 PSF TOP CHORD DL.

*7 PSF BOTTOM CHORD DL.

*5 PSF NET WIND UPLIFT.

FLOOR: 40 PSF LL.

*10 PSF TOP CHORD DL.

*5 PSF BOTTOM CHORD DL.

ROOF: 50 PSF SNOW LOAD

DESIGN CRITERIA: 2006 IRC AND IBC

*5 PSF BOTTOM CHORD DL.

SOIL: *2,000 PSF ALLOWABLE (ASSUMED). TO BE AT TIME OF EXCAVATION FROST DEPTH: *4'-0"

SEISMIC ZONE: C,

WIND: 115 MPH (90 MPH 3 SEC GUST), EXPOSURE C.

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

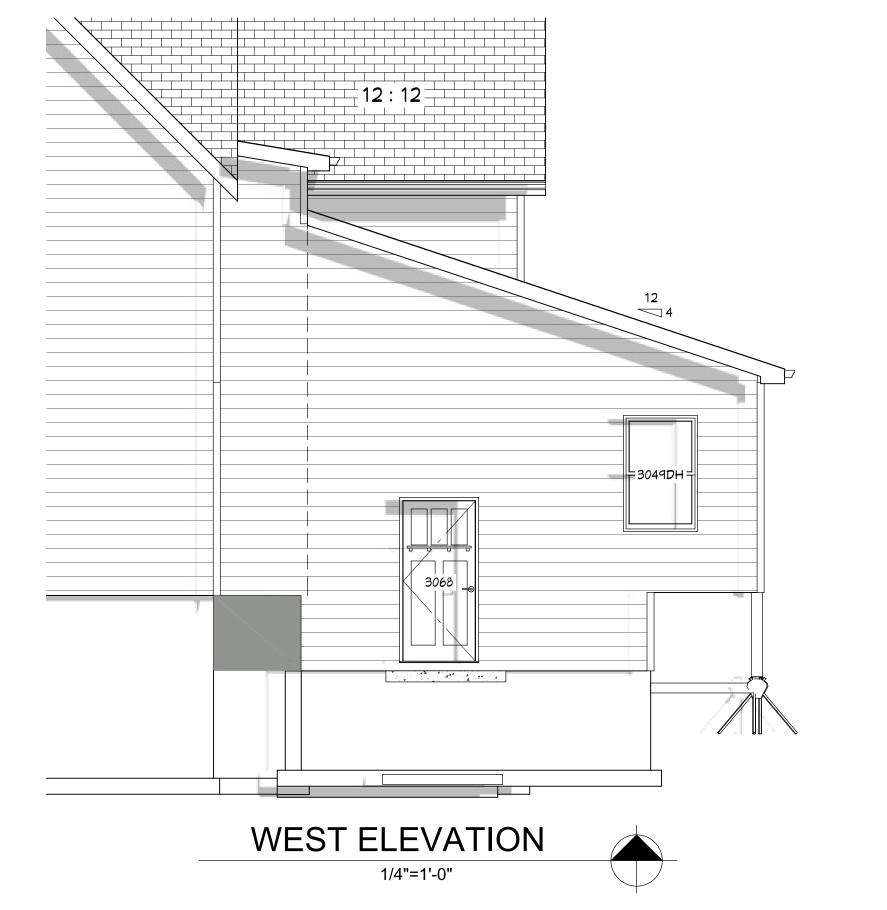
INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.



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CONCRETE NOTES

CONCRETE (WHERE APPLICABLE)

A. ALL FULL CONCRETE FOUNDATION WALLS SHALL BE 8" THICK X 3'9" HIGH WITH (2)

#4'S CONTINUOUS TOP AND BOTTOM OF WALL B. ALL FOUNDATION FOOTINGS SHALL BE A MINIMUM OF 8" THICK X 16" WIDE WITH

(2) #4'S CONTINUOUS IN FOOTING. FOR BLDGS OVER 2 STORIES USE 10" X 30" W/ (3)#4'S MIN C. PROVIDE #4'S 12" O/C VERTICALLY AT ALL JOINING CONCRETE WALLS AND AT ALL

COLD POURS.

AND ENDS OF ALL PLATES FOR ANCHORAGE OF SILL PLATES. EMBED 12" INTO FOUNDATION WALL E. ALL SILL PLATES TO BE TREATED AND SET ON FOUNDATION WITH SILL SEALER.

F. ALL CONCRETE TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS (MIN 5 BAG MIX) AIR ENT. 5-7

D. PROVIDE 1/2" ® ANCHOR BOLTS 4'0" O/C AROUND ENTIRE PERIMETER OF FOUNDATION

G. FOOTINGS ASSUMED TO REST ON UNDISTURBED SOIL WITH A 2400 PSI DESIGN SOIL PRESSURE (1500 PSF SAFE BEARING PRESSURE)

H. COLD AND HOT WEATHER PROTECTION SHALL BE AS PRESCRIBED BY ACI 306 AND ACI 305 RESPECTIVELY.

1. READY MIXED CONCRETE SHALL BE AS FOLLOWS. ALL CONCRETE WORK IN

ACCORDANCE WITH ACI LATEST CODES AND APPLICABLE SPECIFICATIONS.

STRUCTURAL CONCRETE -(FOOTINGS, WALLS, PIERS, ETC.) STRENGTH - MINIMUM OF 3,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. MIX - MINIMUM OF 5 BAG MIX OR 4 1/2 BAG WITH THE ADDITION OF

ASTM 494 WATER-REDUCING ADMIXTURE. SLUMP - MAXIMUM OF 5" FOR STANDARD MIXES OR 6" WITH THE

ADDITION OF ASTM 494 WATER-REDUCING ADMIXTURE.

WATER CEMENT RATIO - SHALL NOT EXCEED 0.53 BY WEIGHT. AIR ENTRAINMENT - 4% MINIMUM TO 7% MAXIMUM.

NOTE: CONFIRMATION OF THIS MIX MUST BE IDENTIFIED ON EACH "REDIMIX TICKET" THAT ACCOMPANIES EACH DELIVERY.

INTERIOR SLABS CONCRETE STRENGTH - MINIMUM OF 4,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.

MINIMUM OF 6 BAG OR 5-1/2 BAG WITH ADDITION OF ASTM 494 WATER-REDUCING ADMIXTURE.

SLUMP - MAXIMUM OF 5" FOR STANDARD MIXES OR 6" WITH ADDITION

OF ASTM 494 WATER-REDUCING ADMIXTURE. WATER CEMENT RATIO - SHALL NOT EXCEED 0.50 BY WEIGHT

AIR ENTRAINMENT - 0% MINIMUM TO 3% MAXIMUM. NOTE: CONFIRMATION OF THIS MIX MUST BE IDENTIFIED ON EACH

"REDIMIX TICKET" THAT ACCOMPANIES EACH DELIVERY.

FLOOR FLATNESS AND LEVELNESS - FLOORS UNDER TOP-INGS, TILE AND BEDS = (Ff) of 20, (FI) of 13. FLOORS UNDER

VCT, SEALERS, PAINT AND CARPET = (Ff) of 20, (FI) of 17. MIN LOCAL VALUE FF15 / FL10

EXTERIOR SLABS CONCRETE

STRENGTH - 4,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.

MIX - MINIMUM 6 BAG SLUMP - MAXIMUM 4".

WATER CEMENT RATIO - SHALL NOT EXCEED 0.45 BY WEIGHT. AIR ENTRAINMENT - 5% MINIMUM TO 8% MAXIMUM.

COARSE AGGREGATE SHALL BE STATE OF WISCONSIN "SUPERSTRUCTURE QUALITY" GRADE AND SHALL CONTAIN NO

MORE THAN 2% TOTAL BY WEIGHT OF DELETERIOUS MATERIALS WHOSE DISINTEGRATION IS ACCOMPANIED BY AN INCREASE IN VOLUME WHICH MAY CAUSE SPALLING IN THE CONCRETE

FINE AGGREGATE CLEAN NATURAL SAND.

GENERAL NOTES

NOTE: ON ALL EXTERIOR FLATWORK POURED AFTER SEPT. 15 THE MINIMUM CEMENT CONTENT SHALL BE INCREASED TO 6-1/2 BAG AND CALCIUM CHLORIDE SHALL BE ADDED TO A RATE OF 1/2%-2% BY WEIGHT. CALCIUM CHLORIDE SHALL BE ADDED IN SOLUTION

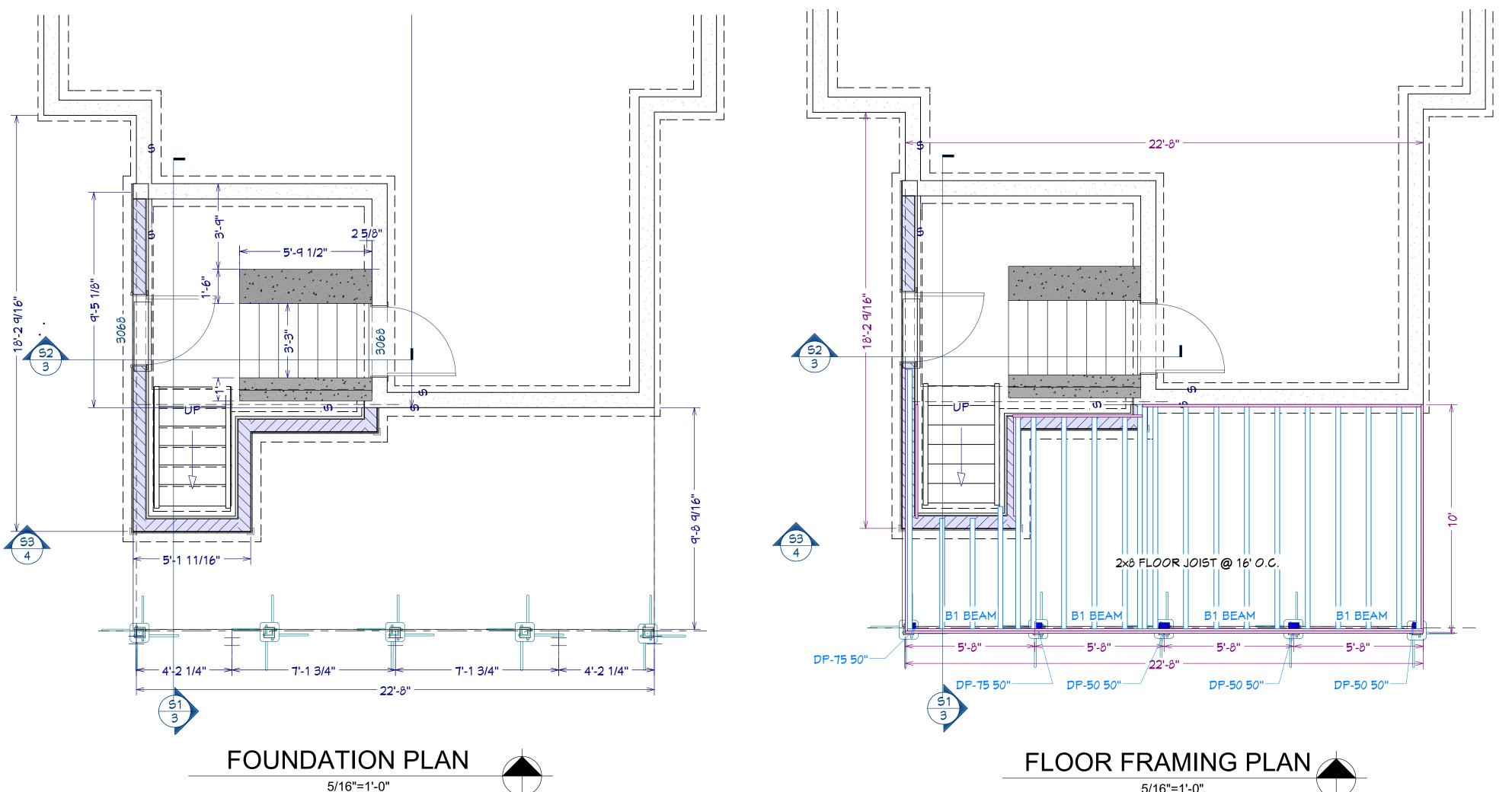
NOTE: CONFIRMATION OF THIS MIX MUST BE IDENTIFIED ON EACH

AND MIXED THOROUGHLY. DO NOT USE WATER REDUCING AGENTS.

"REDIMIX TICKET" THAT ACCOMPANIES EACH DELIVERY.

- 2. INTERIOR CONCRETE SLABS SHALL BE OF THICKNESS AS SHOWN ON THE DRAWINGS AND REINFORCED AS SHOWN ON THE DRAWINGS AND SHALL RECEIVE ONE COAT OF A HARDENER: DAYTON-SUPERIOR (J15) OR SONNEBORN'S LAPIDOLITH OR A CURER/SEALER: DAYTON-SUPERIOR (J20) OR SONNEBORN'S KURE-N-SEAL 25 FOR CURE ONLY USE DAYTON-SUPERIOR'S (J11M) OR M.R. MEADOMS 1100-CLEAR. FOR APPLIED FLOORS (VCT, CERAMIC, ETC.) SHEET OR WET CURE ONLY.
- 3. INTERIOR CONCRETE SLABS SHALL HAVE A MONOLITHIC STEEL-TROWELED FINISH.
- 4. CURE AND PROTECT ALL CAST IN PLACE CONCRETE PER ACI CODE REQUIREMENTS.
- 5. FOUNDATION WALLS SHALL BE AS PER ARCHITECTURAL PLANS. ALL COLD POURS SHALL BE DOWELED TOGETHER WITH #4 DOWELS, 12" O/C VERTICALLY. ALL REINFORCING SHALL BE CONTINUOUS FROM POUR TO POUR.
- 6. ALL REINFORCING BARS TO BE BILLET STEEL BARS ASTM A-15, GRADE 40.
- 7. CONSTRUCTION AND/OR CONTROL JOINTS SHALL BE PROVIDED AS REQUIRED. NOT MORE THAN 225 SQUARE FOOT AREAS. WHERE JOINT FILLER IS CALLED FOR USE: SONOMERIC 1, SONOLASTIC, TREMCO DYMERIC, TREMCO LASTO-MERIC OR EQUAL.
- 8. A 1/2" EXPANSION JOINT SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF THE BUILDING FLOOR AND 1/2" AROUND EACH PIER AND CENTER COLUMNS.
- 9. PROVIDE 6" COMPACTED GRANULAR FILL UNDER CONCRETE SLABS ON GRADE AS A MINIMUM REQUIREMENT WHEN FILL IS NOT SPECIFIED IN THE DRAWINGS. COVER W/ 6 MIL POLY VAPOR BARRIER
- 10. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE REQUIRED
- CONCRETE PADS FOR ELECTRICAL AND HVAC EQUIPMENT.
- 11. ALL CONCRETE HAS BEEN DESIGNED BASED ON 1500 PSF BEARING CAPACITY. 12. WHERE CONTRADICTIONS ON THE PLANS AND/OR SPECIFICATIONS EXIST, THE ITEM
- REQUIRING THE GREATER MATERIAL AND/OR LABOR SHALL TAKE PRECEDENT 13. AIR-ENTRAINING ADMIXTURE SHALL BE USED FOR ALL CONCRETE EXPOSED TO THE
- WEATHER. NO OTHER ADMIXTURES SHALL BE ADDED TO THE CONCRETE.
- 14. ALL MECHANICAL & ELECTRICAL PLANS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL AND A COPY PROVIDED TO KAI ARCHITECTURAL SERVICES.
- 15. ALL CONCRETE TOPPING SLABS SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 POUNDS PER SQUARE INCH AT 28 DAYS.
- 16. ELEVATION TOP OF FOOTINGS IS SHOWN ON THE PLANS. VERIFY ALL BEARING MATERIAL WITH THE ARCHITECT. ALL FOOTINGS SHALL BEAR ON SOLID UNDISTURBED SOIL. NO CONCRETE SHALL BE POURED IN EXCAVATIONS CONTAINING WATER.
- 17. ALL FILL AND BACKFILL FOR INTERIOR SLABS ON GRADE SHALL BE COMPACTED TO 95% OF ASTM 1557.

FOOTING ALTERNATE #1 IN LIEU OF KEYED FOOTING PROVIDE #4 "J" BARS @ 18" O.C.



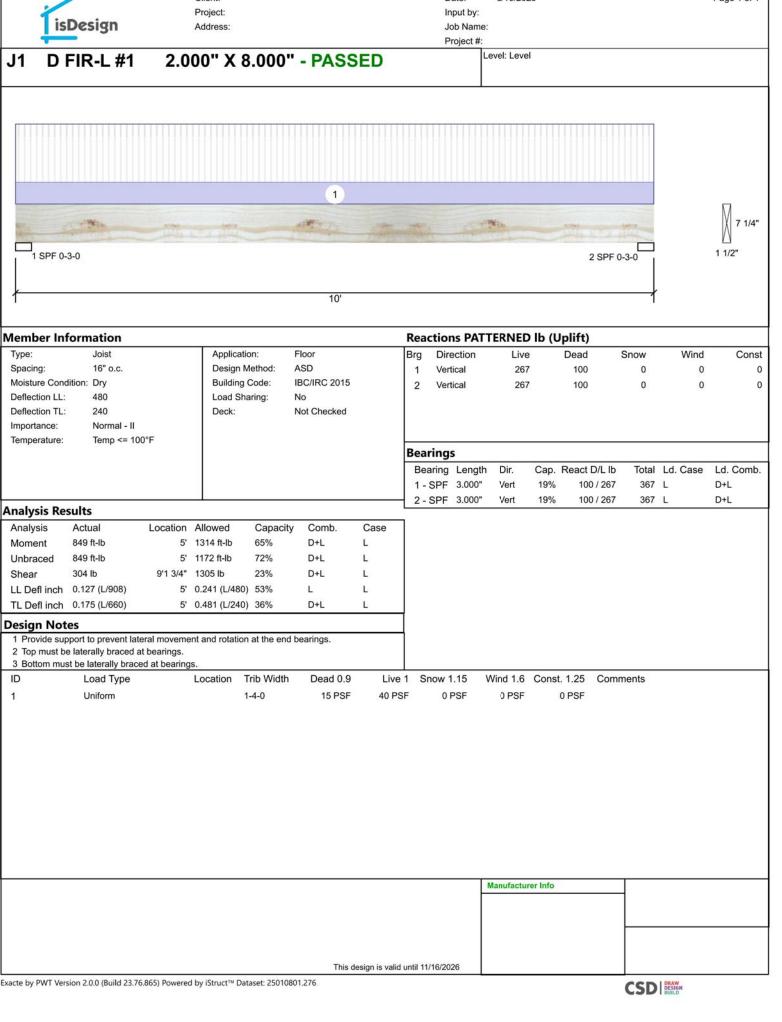
DIMENSIONS

OR CONCRETE FACE.

ALL DIMENSIONS ARE TO FRAMING

FOUNDATION NOTES

- 8" CONC. STEM WALL W/ #4 VERTS @18" O/C W/ STD 90° HOOK INTO FTG. & #4 HORIZ. @ 12" 0/C
- 1. FOUNDATIONS TO BEAR A MINIMUM OF 48" BELOW FINISH GRADE
- 2. ALL ANCHOR BOLTS TO BE 1/2" DIA X 10 @ 48" O/C UNO.
- 3. ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60.
- 4. ALL REINFORCING STEEL TO OVERLAP A MINIMUM OF 24" FOR SPLICES.
- 5. PROVIDE CORNER BARS TO MATCH CONTINUOUS STEEL
- 6. MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI AT 26 DAYS. MAXIMUM AGGREGATE SIZE IS
- 1". MAXIMUM AIR ENTRAINMENT IS 3%. CEMENT SHOULD BE TYPE 1 OR 2. 7. SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF (UBC TYPE 4 SOIL). IF SOIL CONDITIONS VARY FROM THIS, THE PROJECT
- ENGINEER MUST BE NOTIFIED. ALL FOOTINGS MUST BEAR ON UNDISTURBED SOIL. ALL SLOPES MUST BE STABILIZED
- 8. ADJACENT GROUND SURFACES SHALL BE SLOPED AWAY FROM STRUCTURE DRAINAGE OF SURROUNDING AREA SHALL
- ALSO BE PROVIDED TO PREVENT ACCUMULATION OF SOIL AND EROSION OF SOIL NEAR FOOTINGS.
- 9. UNIFORM SOIL CONDITIONS, MUST BE PROVIDED UNDER SLAB AND FOOTINGS. CUT/FILL OR NON-UNIFORM SOIL CONDITIONS SHOULD BE EXCAVATED AND REPLACED W/ UNIFORM ENGINEERED FILL MATERIAL TO MINIMIZE DIFFERENTIAL MOVEMENT.
- 10. THE TOPS OF FOUNDATION WALLS SHALL EXTEND 6" ABOVE THE ADJACENT FINISH GRADE
- 11. MINIMUM 18" CLEARANCE FOR WOOD JOIST GIRDERS REQUIRED IN THE CRAWL SPACE UNLESS TREATED WOOD IS USED THROUGHOUT FLOOR SYSTEM



LICENSE NUMBER: RED 237 W ISVILLE ட

SCALE AND MAY NOT REFLECT EXACTLY WHAT IS AVAILABLE FOR THE PROJECT. RENDER VIEWS ARE REPRESENTATIONS OF WHAT THE VIEW COULD

LOOK LIKE, NOT WHAT IT WILL LOOK LIKE. 2D VIEWS ALWAYS SUPERCEDE 3D VIEWS

DRAWN BY:

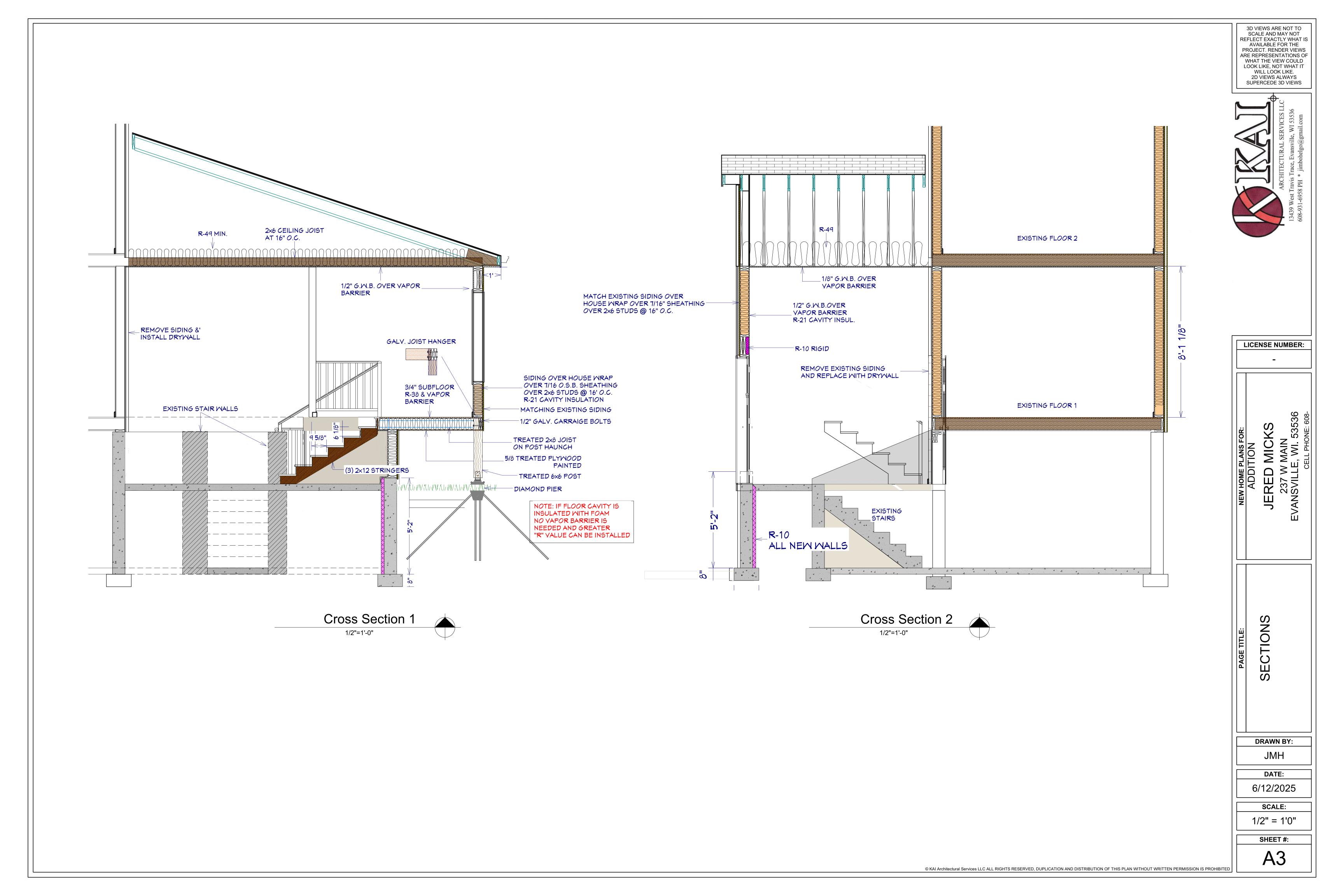
DATE: 6/12/2025

SCALE: 1/4" = 1'-0"

Foundation Plan 1/4"

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FRAMING NOTES:

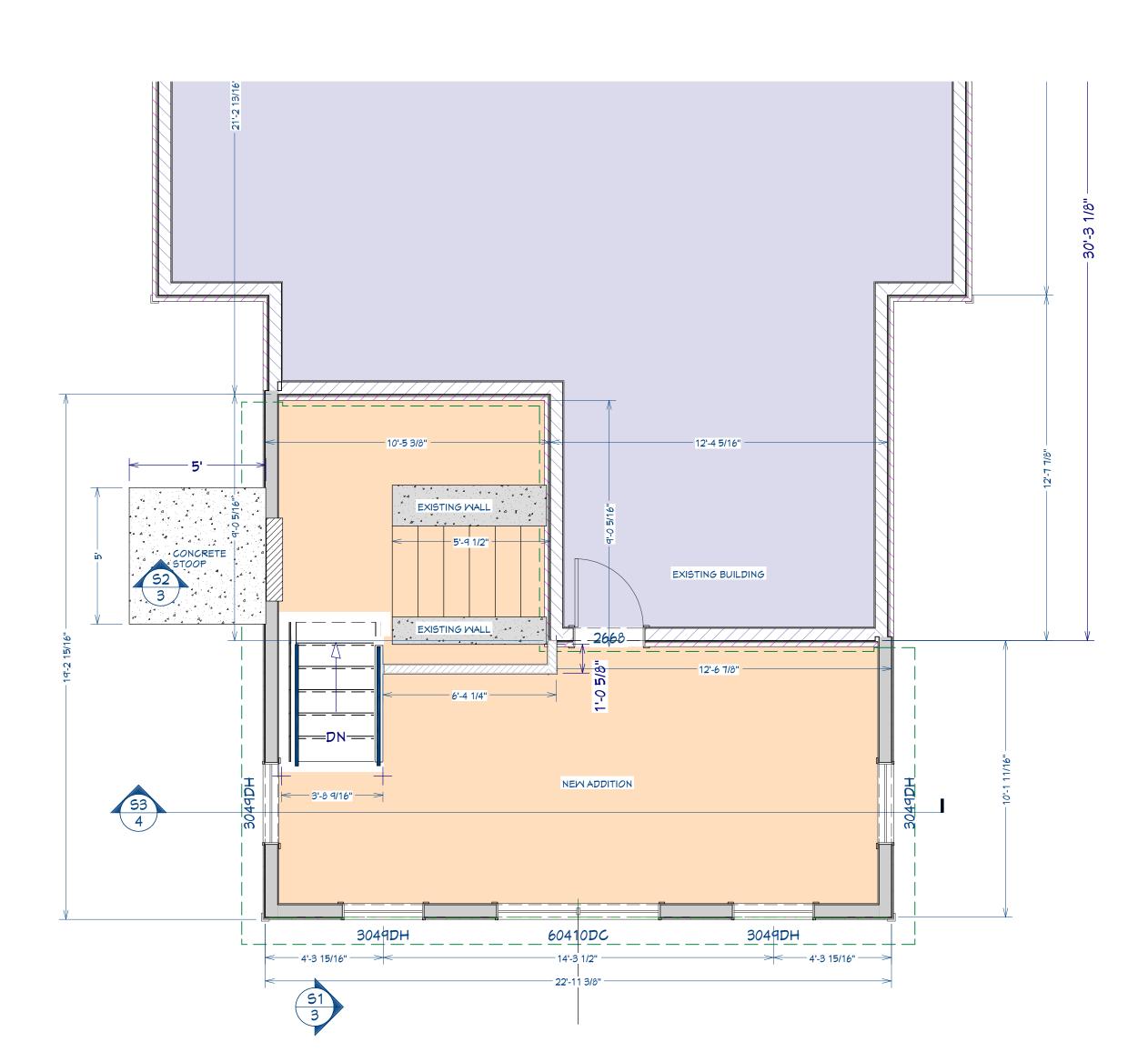
PROVIDE DOUBLE JSTS. UNDER ALL WALLS RUNNING PARALLEL TO JOISTS.

PROVIDE POSITIVE VENTILATION AT EA. END OF EA. RAFTER SPACE AT VAULTED CEILING AREAS.

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.

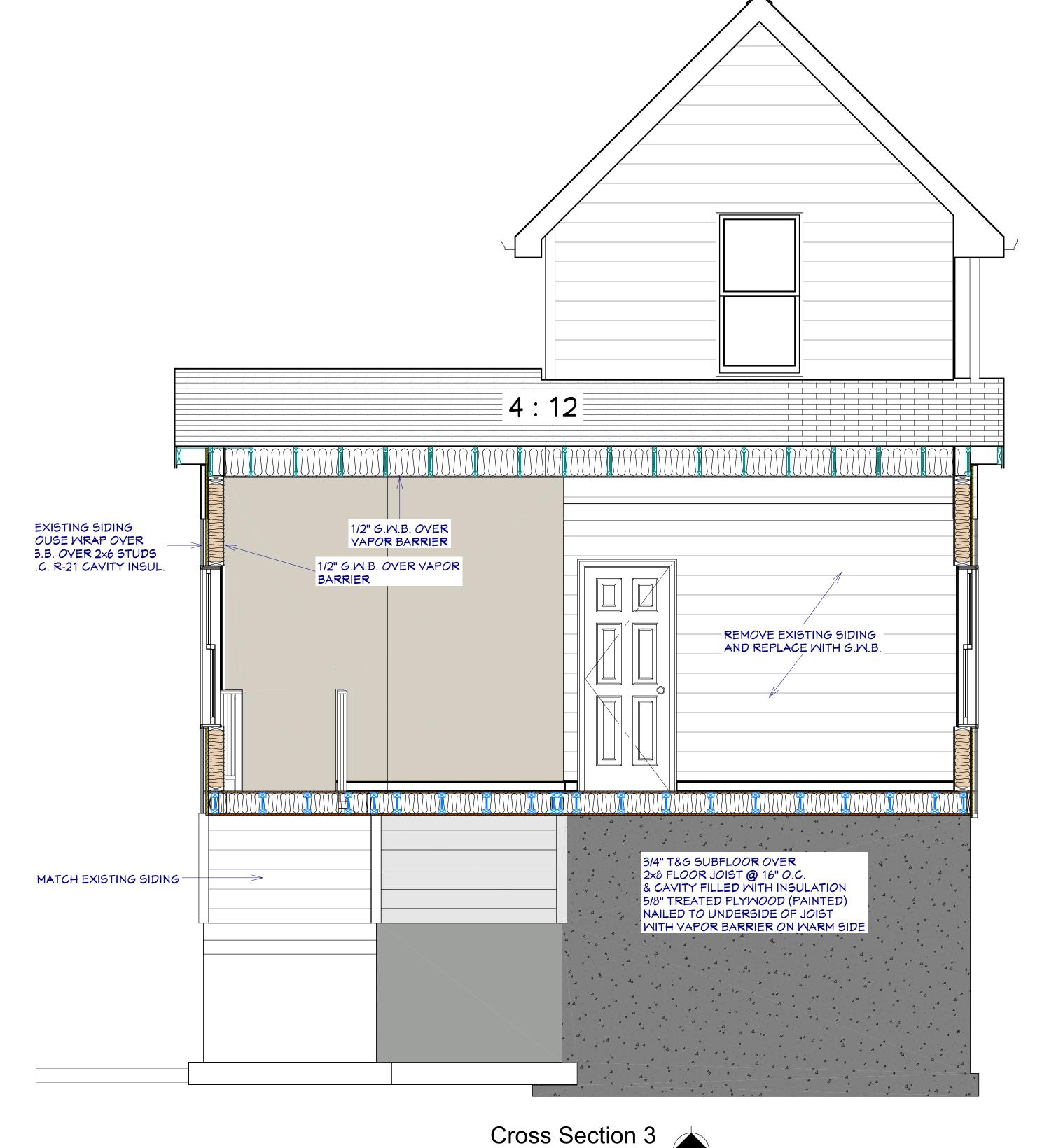
& UDC SPS 321.085

PROVIDE POSITIVE CONECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.



MAIN FLOOR PLAN

5/16"=1'-0"



1/2"=1'-0"

3D VIEWS ARE NOT TO
SCALE AND MAY NOT
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SUPERCEDE 3D VIEWS



LICENSE NUMBER:

ADDITION
JERED MICKS
237 W MAIN
EVANSVILLE, WI. 53536

SECTIONS

DRAWN BY:

DATE: 6/12/2025

AS SHOWN

SHEET #:



Client: Project: Address:								Date: 3/10/2025 Page 1 of 2 Input by: Job Name: Project #:						
31 D	D FIR-L #1 2.000" X 10.000" 2-Ply - F													
		2							3					
					1			ШШ						
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ĺ	5'5"	Ť		5'5"	1		5'5"		1		5'5"			
1					21'8	3"						1		
lember Information								Reactions PATTERNED Ib (Uplift)						
Type: Plies:	Girder 2		Applica Design	tion: Method:	Floor ASD		Brg 1	Direction Vertical	n Liv 106		Dead 954	Snow 788	Wind 0	Const 0
Moisture Con	dition: Dry		Building	Code:	IBC/IRC 20	15	2	Vertical	2527 (-17		2392	1921	0	0
Deflection LL:			Load SI	haring:	No Not Charles	. d	3	Vertical	2462 (-36	1)	2138	1797	0	0
eflection TL: mportance:	240 Normal - II		Deck:		Not Checke	ea	4	Vertical	2464 (-18		2323	1869	0	0
emperature:	Temp <= 10	0°F					5	Vertical	113	14	1011	838	0	0
							Bear			No. 200				
							1000	ring Ler			React D/L lb			Ld. Comb.
								PF 5.50		33% 82%	954 / 1390 2392 / 3336		L_L_ LL_L	D+0.75(L+S D+0.75(L+S
nalysis Results								PF 5.50		76%	2138 / 3194		_LL_	D+0.75(L+S
Analysis	Actual	Location	Allowed	Capacity	Comb.	Case		PF 5.50		79%	2323 / 3250		L_LL	D+0.75(L+S
Neg Momen			4510 ft-lb	63%		L+S) LL_L	5 - 8	PF 8.8	13" Vert	22%	1011 / 1478	2490	_L_L	D+0.75(L+S
Unbraced			2831 ft-lb	100%		L+S) LL_L								
Pos Momen Unbraced	2058 ft-lb	2'5 13/16" · 2'5 13/16" ·		46% 100%		L+S)								
Shear	1988 lb		3830 lb	52%		L+S) L_L_								
L Defl inch			0.126 (L/480			S) L_L_								
ΓL Defl inch	0.024 (L/2493)	2'8 3/8"	0.251 (L/240	0) 10%		L+S) L_L_								
esign No	tes			-10			1							
may also b 2 Fasten all p to exceed 6 3 Refer to las 4 Girders are 5 Top loads r 6 Top must b 7 Bottom mu	st page of calculation de designed to be su must be supported de laterally braced a st be laterally brace	terior bearings of 10d Box nail ons for fastene pported on the equally by all p at a maximum ed at a maxime	s by the builds (.128x3") ers required to bottom eduplies. of 18'11 3/8' um of 13'3 3	ding code. at 12" o.c. M for specified ge only. " o.c.	laximum end									
B Lateral siei	nderness ratio base Load Type			Trib Width	Side	Dead 0.9		ive 1 S	Snow 1.15	Wind	1.6 Const. 1	1.25 Co	mments	
1	Uniform				Тор	150 PLF		PLF	0 PLF	0 F		PLF floo		
2	Uniform				Тор	157 PLF) PLF	315 PLF	0 F	LF 0	PLF roo	f	
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									Manufact	urer Info				
						nis design is valid	NI SUPERIOR		1			1		

exacte By PMT Job Name: Project #: R1 PWI 18S 9.500" - PASSED 9 1/2" Reactions PATTERNED Ib (Uplift) Member Information Live Dead Snow Wind 207 106 0 0 193 100 0 0 Spacing: 1 Vertical Design Method: ASD Moisture Condition: Dry 2 Vertical Building Code: IBC/IRC 2015 Deflection LL: 480 Deflection TL: Load Sharing: No Importance: Normal - II Not Checked Bearing Length Dir. Cap. React D/L lb Total Ld. Case Ld. Comb. 1 - SPF 5.500" Vert 31% 106 / 207 313 L D+L 2 - SPF 1.500" Vert 34% 100 / 193 293 L D+L Analysis Results Analysis Actual Location Allowed Capacity Comb. Case Moment 690 ft-lb 5'2" 2365 ft-lb 29% D+L L Shear 277 lb 5 1/2" 1130 lb 25% D+L LL Defl inch 0.066 (L/1786) 5'2" 0.246 (L/480) 27% L L TL Defl inch 0.100 (L/1179) 5'2" 0.492 (L/240) 20% D+L L Design Notes

1 Provide support to prevent lateral movement and rotation at the end bearings. 2 Dead Load Deflection: Instant = 0.034", Long Term = 0.051". 3 Use solid wedge bearings or metal variable pitch connector at each bearing. 4 Attach with enough nails to prevent sliding between the joist and the sloped bearing wedge at 5 Top flange must be laterally braced at a maximum of 7'10" o.c. along the slope. 6 Bottom flange must be laterally braced at bearings.

ID Load Type Location Trib Width Dead 0.9 Live 1 Snow 1.15 Wind 1.6 Const. 1.25 Comments 1-4-0 15 PSF 30 PSF 0 PSF 0 PSF 7 PSF Manufacturer Info
Pacific Woodtech Corp
1850 Park Lane
Burlington, WA 98233
(800) 515-7570
www.pwtewp.com
ICC-ES: ESR-1305 APA: PR-L238 Copyright 2023 All rights reserved by Pacific Woodtech Corp 1850 Park Lane, Burlington, WA 98233 This design is valid until 11/16/2026

Exacte by PWT Version 2.0.0 (Build 23.76.865) Powered by iStruct™ Dataset: 25010801.276

B1, Page 1

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ADDITION
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237 W MAIN
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CALCULATIONS

DRAWN BY:

JMH

DATE: 6/12/2025

SCALE:

SHEET #: