NOTICE

A meeting of the City of Evansville Plan Commission will be held on the date and time stated below. Notice is further given that members of the City Council and Historic Preservation Commission may be in attendance. Requests for persons with disabilities who need assistance to participate in this meeting should be made by calling City Hall at (608)-882-2266 with as much notice as possible.

City of Evansville Plan Commission

Regular Meeting City Hall, 31 S Madison St., Evansville, WI 53536 Tuesday, March 4th, 2025, 6:00 pm

AGENDA

- 1. Call to Order
- 2. Roll Call
- 3. Motion to Approve Agenda
- 4. Motion to waive the reading of the minutes from the February 4th, 2025 meeting and approve them as printed.
- 5. Civility Reminder
- 6. Citizen appearances other than agenda items listed.
- 7. Discussion Items
 - A. Review and Action on Site Plan Application SP-2024-04, Conditional Use Permit Application CUP-2024-06, and Rezoning Application RZ-2024-05 for a Kwik Trip Gas Station/Convenience Store on recently annexed parcel 6-20-228.1 (680 E Main Street)
 - 1. Review Staff Memo and Applicant Comments
 - 2. Plan Commissioner Questions and Comments
 - 3. Motion with Conditions
 - B. Review and Action for Land Division Application LD-2025-03 for a preliminary and final Certified Survey Map on parcel 6-27-559.501 (517/519 South Seventh Street)
 - 1. Review Staff Report and Applicant Comments
 - 2. Public Hearing
 - 3. Plan Commissioner Questions and Comments
 - 4. Motion with Conditions
 - C. Review and Action for Land Division Application LD-2025-04 for a preliminary and final Certified Survey Map on parcel 6-27-559.503 (533/537 South Seventh Street)
 - 1. Review Staff Report and Applicant Comments
 - 2. Public Hearing
 - 3. Plan Commissioner Questions and Comments
 - 4. Motion with Conditions
 - D. Review and Amendment of Conditional Use Application 2015-06 for extending Indoor Commercial Entertainment on parcel 6-27-7 (16 E Main Street)
- 8. Community Development Report

- A. Population Projections
- 9. Upcoming Meeting: April 1st, 2025 at 6:00pm
- 10. Adjourn

City of Evansville Plan Commission Regular Meeting Tuesday, February 4th, 2025, 6:00 p.m.

MINUTES

- 1. Call to Order at 6:00pm.
- 2. Roll Call:

Members	Present/Ab sent	Others Present
Mayor Dianne Duggan	P	Colette Spranger (Community Dev. Director)
Alderperson Gene Lewis	P	Jason Sergeant (City Administrator)
Alderperson Abbey Barnes	P	Joe Geoffrion, Paul Liesse, Nancy Greve, Dan Cobb,
Bill Lathrop	P	Chuck Boyce, Dave Olsen, Ann Sellnow,
John Gishnock	P	Mike Neary, Sue & Dan White, Kerry & Jill Johnson
Mike Scarmon	P	
Eric Klar	A	

- 3. <u>Motion to approve the agenda moving item 7D ahead of 7A,</u> by Lathrop, seconded by Gishnock. Approved unanimously.
- 4. <u>Motion to waive the reading of the minutes from the January 7th, 2025 meeting and approve them as printed, by Lathrop, seconded by Gishnock. Approved unanimously.</u>
- **5.** Civility Reminder. Duggan noted the City's commitment to conducting meetings with civility.
- 6. Citizen appearances other than agenda items listed.
- 7. Discussion Items.
- A. Public Hearing and Review of Land Division Application LD-2025-02 for a certified survey map on parcel 6-20-219B in the Town of Union
 - **1. Review Staff Report and Applicant Comments**Spranger gave an overview of the application and the project.
 - **2. Public Hearing**Public hearing began at 6:09 PM, closed at 6:12 PM.
 - 3. Plan Commissioner Questions and Comments

Motion to recommend Common Council approve a certified survey map crating three lots and one outlot form parent parcel 6-20-218B in the Town of Union, finding that the application is in the public interest and meets the objectives contained within Section 110-102(g) of the city ordinances, granting a variance fo the size of Outlot 1, per Section 110-5, because a literal interpretation of Section 110-230 in this instance would be inappropriate and cause and extraordinary hardship on the property owner, with the following conditions:

- 1.) that the final certified survey map is recorded with the Rock County Register of Deeds along with the record of decision from the City outlining these conditions.
- 2.) The applicant fulfills any other obligations set forth by the Town of Union and Rock County.
- 3.) A deed restriction preventing future development on Outlot 1 is provided to the City prior to signing the plat and then recorded, with a copy sent to the City.
- 4.) No further land division of these parcels occur prior to February 11th, 2045 unless superseded by one or both of the following:
 - a. An update to Article VII of the City's Subdivision ordinance, last amended by Ordinance 2020-12; or
 - b. The Town of Union and City of Evansville enter a boundary agreement.

Motion by Lathrop, seconded by Klar, motion carried unanimously.

- В. Review for Land Division Application LD-2024-11 for a Preliminary and Final Plat on Parcel 6-27-970C.2 (Settler's Grove)
 - 1. Review of Staff Report and Applicant Comments Spranger gave an overview of the application and the project.
 - 2. Plan Commissioner Questions and Comments

Motion to recommend Common Council approve the Preliminary and Final Plat for the Settler's Grove subdivision, finding that it is in the public interest and substantially complies with Section 110 of the Municipal Code, subject to the following conditions:

- 1.) Widen Outlot 4 to 10' at its southern boundary where it meets Porter Road.
- 2.) Outlots 3 and 4 to be dedicated to the public upon the face of the plat
- 3.) Land Divider's Agreement executed by both City and Developer upon signing final plat
- 4.) Applicant submits Irrevocable Letter of Credit for City Engineer approval
- 5.) Developer pays required park and recreation land fees to City, as described in the Land Divider's Agreement
- 6.) Easement for bike trail prior to plat getting recorded
- 7.) Applicant records a plat restriction, by adding suitable language to the face of the plat as approved by City Engineer, regarding prohibition of alterations of finished grades by more than six inches on utility easements and stormwater drainage easements.

Motion by Klar, second by Barnes. 5 yea, Lathrop nay, motion carried 5-1.

- C. Review, and Action for Rezoning Application RZ-2025-02 on Parcel 6-27-970C.2 (Settler's
 - 1. Review of Staff Report and Applicant Comments Spranger gave an overview of the application and the project.
 - 2. Plan Commissioner Questions and Comments

Motion to recommend Common Council approve Ordinance 2025-02 Motion by Klar, Seconded by Gishnock. 5 yea, Lathrop nay, motion carried 5-1.

Review and Motion to Recommend Approval of Land Divider's Agreement for Settler's D. Grove Subdivision with proviso for site plans for phase 4 prior to issuance of building permits for phase 3.

Motion by Barnes, seconded by Gishnock, motion carried unanimously.

8. Community Development Report

9. Next Meeting Date: Tuesday, March 4th, 2025 at 6:00 p.m.

10. Adjourn. 7:04 pm



Applications: SP-2024-04, CUP-2024-06, RZ-2024-05 **Applicants:** Kwik Trip Inc (represented by Seth Wadell) **Parcel:** 6-20-228.1¹ **Location:** 13828 W US HWY 14²

March 4, 2025

Prepared by: Colette Spranger, Community Development Director

Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263

Description of request: Applicant is seeking approval of a site plan and a conditional use permit to operate a gas station/convenience store, and rezoning of that property to the B-3 Community Business District.

Current zoning district: Agricultural

Proposed Zoning District: B-3 Community Business District (pending approval)

A public hearing for the applications was held on November 5th, 2024. Minutes from that meeting are included for review of this application. Specific concerns brought up by residents included:

- Impacts of increased traffic
- Pedestrian safety
- Appropriateness of location with regard to nearby housing.

There were also a number of residents expressing their support for the project, citing positive economic impacts or personal desire for the Kwik Trip brand.

Plan Commission discussed site plan design, landscaping, and traffic at that November meeting. A subsequent discussion at December's Plan Commission meeting furthered site plan details.

The Board of Zoning Appeals met on February 24, 2025. That governing body granted variances for driveway width and building placement, citing unusual circumstances of the parcel shape and its effect on efficient site design.

An ordinance to finalize rezoning the parcel to B-3 Community Business from Agriculture will be reviewed by Common Council on March 11th. Any approval of site plans and conditional use permits made this evening will be contingent on approval of that ordinance.

Changes from what was originally proposed in November include modifications to fence placement on the north edge of the property. This was done to utilize the grade of the property to provide proper screening and sound absorption with the 6' fence. A vinyl fence has been depicted on the rendering provided by the applicant; the City is requesting a cedar fence, citing wood's ability to better absorb sounds and reverberations.

¹ This parcel was annexed into the City of Evansville from the Town of Union on February 11th, 2025 by Common Council passing Ordinance 2024-13. At the time of writing, the documents recording that change were still being processed by Rock County and had not yet received its new parcel number.

² This was the site address pre-annexation. Future development on the site will be addressed as 680 East Main Street.

Intense landscaping has been largely removed from the ATC easement area. Staff was concerned that landscaping would be removed if it violated ATC's standards. The area behind the fence will be seeded with a lawn mix.

The applicant originally proposed preserving existing mature trees on site along the County Highway M side of the property. Land disturbances associated with grading, parking lot, and street construction are likely to damage root systems. The applicant will be removing all existing trees on site. This will impact the appearance of the corner and will require mitigation. The City is requesting that 5 evergreen trees be added to the landscape plan, with at least 3 by the bioretention pond near the parking lot area. The applicant may reduce other plantings in the areas where these trees are placed.

Additional features of the site plan include:

- Landscaped patio area with connecting sidewalk
- Bike rack in patio area
- Landscaped area with pedestrian bench on west side of site
- Bioretention pond with native grass and shrubs
- Decorative wood fence and flowering shrubs and ornamental grasses surrounding gas canopy/parking lot

With these changes and modifications, staff recommends approval of the rezoning, site plan, and conditional use permit. Details of some off-site improvements need to be worked out and represent the bulk of the conditions listed for approval.

Recommended Motion for Rezoning Application

Motion to recommend Common Council approve Ordinance 2025-02.

Motion for Site Plan and Conditional Use Applications

Motion to approve a Site Plan and Conditional Use Permit for a gas station/convenience store/food counter per section 130-408 on parcel 6-20-228.1 (annexed through Ordinance 2024-13), located at 680 East Main Street, finding that the benefits of the use outweigh any potential adverse impacts, and that the proposed use is consistent with the required standards and criteria for issuance of a Conditional Use Permit set forth in Section 130-104(3)(a) through (e) of the Zoning Ordinance, subject to the following conditions:

- 1. <u>Applicant to provide and receive written approval from the City on the following items prior to issuance of a building permit by the City's contracted building inspector:</u>
 - a. Address and resolve any comments from City Engineer, Municipal Services

 Director, Police, EMS, and Fire District regarding project plans, stormwater

 management plans, erosion control, site grading, and utility plans.
 - b. Provide written documentation from City, Rock County, State, or other entities controlling access along County Highway M for road improvements, including curb and gutter, along length of property and to provide a striped left turn lane for site access on northbound County Highway M.
 - c. <u>Provide updated civil engineering plans that show relocation of existing sidewalk</u> on East Main Street and proposed sidewalk on County Highway M to be located within 2' of property line.
 - d. <u>Update landscape plan to show location of five evergreen trees.</u>

- e. Public sidewalk to be extended to end of parcel owned by applicant.
- f. <u>Sidewalk crossings at driveways to be moved back to align with relocated sidewalks, and constructed with colored concrete and reflective striping.</u>
- 2. Prior to issuance of an occupancy permit for the site, applicant shall:
 - a. Work with City staff and Engineer on plans and surveying for offsite connecting sidewalk north of subject property on County Highway M (Condition is required per Board of Zoning Appeal's approval of variance application VAR-2025-01)
 - b. <u>Plant street trees every 40'-60' as space allows in adjoining terrace, in addition to minimum landscaping requirements</u>
 - c. Reimburse City for streetlight costs on East Main and County Highway M.
 - d. <u>Use a cedar fence for screening fence along boundaries shared with neighboring residential properties to the north</u>
 - e. Verify that all exterior lighting is dark sky compliant.
- 3. <u>Signs to be permitted by separate application. No backlit, pole, or electronic message signs will be permitted. One monument and two wall signs (one for each street on which applicant has frontage) will be permitted. Canopy striping shall use halo lighting.</u>
- 4. <u>The business operator shall obtain and maintain all City, State, County, and Federal permits and licenses as may be required.</u>
- 5. <u>Any substantial changes to the business model shall require a review of the existing conditional use permit and may result in a new application, review, and fees.</u>
- 6. Any change to site plan application submittals shall be reviewed and approved per section 130-206 of the Municipal Code, and may result in a new application, review, and fees.
- 7. Use cannot create a public nuisance as defined by local and state law.
- 8. The Conditional Use Permit is recorded with the Rock County Register of Deeds.

Chapter 130 Review Criteria and Standards

The following section compares the site plan with the basic provisions of the base zoning district and other considerations of how the site functions, both internally and within its environs.

Site Plan Criteria Evaluation

Section 130-131 of the Municipal Code, includes factors for evaluating site plans.

Criteria	Staff Comment	
Site Design and Physica Characteristics	City has made recent changes to its zoning code to encourage site design that promotes focuses on the building and streetscape versus autocentric. This plan currently does not meet the new standards.	
	Site features a long, paved lane on the north edge of the property that connects County M with East Main Street. Site plan updates feature modest bump outs and trailer parking near the gas canopy that should provide some traffic calming measures without interfering with efficient parking lot use.	
Site location relative to public road network	Site has frontage along County Highway M and US Highway 14/Main Street.	
	WisDOT is requiring a left turn lane for eastbound traffic on U Highway 14/Main Street.	
3. Land Use	Comprehensive Plan Future Land Use Category: Walkable Business	
	B-3 Community Business is a district that accommodates and encourages walkable features.	
4. Traffic Generation	 Site anticipated to generate over 3,000 trips per day, with a peak of 110-120 trips/hour during rush hours. 	
	 Southbound traffic on County Highway M decreases its Level of Service from B to C, indicating that traffic backing up will become an occasional occurrence because of this development. 	
	 Traffic study builds off that provided by CHS for its oilseed processing plant. Current conditions were measured in April 2023 and October 2023, and capture harvest traffic. True traffic impacts will not be known until 2028/2029 when the plant is fully operational. Intersection improvements needed at that time are likely to be funded by tax increment generation in TID # 10. 	
	 The traffic analysis including the fully operational soybean oilseed plant makes it difficult to separate Kwik Trip's impact on its own. A straight reading of average daily traffic counts and the provided analysis indicate that the amount of traffic could easily double what is already there. 	
	Staff would like to remind decision makers and the public that the existing intersection at County Highway M and US Highway 14 was improved in the late 2000s in anticipation of an ethanol plant that was never built. Average daily traffic counts have also	

Criteria	Staff Comment
	dropped over time. The intersection is designed to take on more traffic than it currently experiences.
5. Community Effects	 24 hour convenience store would provide options for residents, especially those who work shifts with non-traditional hours Increases non-residential portion of City's tax base
6. Other Relevant Factors	Off Site improvements that will be required as part of site plan approval (or due to internal policies for newly developed sites) include:
	 A dedicated left turn lane on eastbound East Main Street Connect sidewalk north from 14/M intersection to the connected path north of the stormwater pond
	Reimbursing the City the cost of streetlights along East Main Street, County Highway M
	Street (terrace) trees along East Main Street and County Highway M
	 Urbanizing County Highway M with curb and gutter Striping a turn left turn lane on northbound County Highway M

B-3 Zoning District Bulk Requirements

	c. 130-827. Requirements for n-residentials uses.	B-3 Community Business	Kwik Trip	Met?
1.	Non-Residential Intensity			
	a. Max # of Floors	4	1	
	b. Min Landscape Surface Ratio	15%	57%	
	c. Max Building Coverage	60%	6%	
	d. Max Floor Area Ratio	1.5	0.56	
	e. Minimum lot area	9,000 square feet	165,553 square feet	
	f. Max Building Size	20,000 square feet	9,195 square feet	
	g. Max Parking Lot Street Frontage	50%		
2.	Non Residential bulk and lot dimensions			
	a. Minimum lot area	9,000 square feet	165,553 square feet	
	b. Min Lot Width	70 feet	OK	
	c. Min Street Frontage	50 feet	OK	
3.	Minimum setbacks and building separation			
a.	Building to Front Lot Line Building to Street Side Lot Line Either of above next to ROW of	10 feet	OK	
	100+ feet	35 feet		
b.	Building to resident. side lot line	10 feet	OK	
C.	Building to resident. rear lot line	25 feet	n/a	
d.	Building to nonres. side lot line	10 feet or zero feet on zero lot line side	n/a	
e.	Building to nonres. rear lot line	25 feet	n/a	
f.	Min paved surface setback- Side/rear	5 feet	OK	
g.	Min paved surface setback - Street	10 feet	OK	
h.	Min building separation	12 feet, or zero feet on zero lot line side	n/a	
4.	Max building height	40 feet	Applicant to verify building height	
5.	Driveways and Access			
a.	Max width at sidewalk	25 feet	Plans show 35' at both driveways.	Variance Received

Sec. 130-827. Requirements for non-residentials uses.	B-3 Community Business	Kwik Trip	Met?
		Pedestrian crosswalks should also be clearly painted going across driveways.	
b. One driveway allowed per street on which lot has frontage	1		

Site Plan/Conditional Use Standards

	c. 130-418. Gas station/convenience store/food unter.	Kwik Trip	
	Clearly marked pedestrian crosswalks shall be provided for each walk-in customer access to the facility adjacent to the gas pumps and driving lanes	None shown for diesel or gasoline areas. Should be marked on pavement, especially for pumps marked as accessible.	
b.	Any convenience store/food counter building shall be located within the building envelope closest to the street side or occupy the corner area of any lot it occupies. Gas pump areas shall not be located in any front yard area.		Variance Received
C.	The gas pump areas shall be designed so as to not impede or impair vehicular traffic movement, or exacerbate the potential for pedestrian/vehicle conflicts.	This site features a large amount of pavement and little internal traffic control. Along the northern edge of the property there is a stretch of pavement over 600' long and at least 30' wide with no barriers to thru traffic.	
d.	In no instance shall a gas pump area be permitted to operate (in a manner) which endangers the public safety, even if such a land use has been permitted under the provisions of this article.	This gives the City the ability to address dangerous conditions after the business is built and operating.	
e.	The setback of any overhead canopy or similar structure shall be a minimum of 10 feet from all street right-of-way lines and a minimum of 20 feet from all residentially zoned property lines, and shall be a minimum of 5 feet from other property lines. The total height of any overhead canopy or similar structure shall not exceed 20 feet as measured to the highest part of the structure.	Setbacks of canopy areas are OK. Applicant to verify height of canopies.	
f.	All vehicular areas of the facility shall provide a surface paved with concrete or bituminous material which is designed to meet the requirements of a minimum four-ton axle.		
g.	The facility shall provide a bufferyard along all property borders abutting residentially zoned property with a minimum opacity per section 130-270.	Submitted landscape plan shows good screening for this area but conflict with easement requirements.	
h.	Interior curbs shall be used to separate driving areas from exterior fixtures such as fuel pumps, vacuums, menu boards, canopy supports, and landscaped islands. The curbs shall be a minimum of six inches high and be of a nonmountable design. No curb protecting an exterior fixture shall be located closer than 25 feet to any property line.		

	ec. 130-418. Gas station/convenience store/food ounter.	Kwik Trip	
i.	Such uses shall comply with article II, division 4 of this chapter, pertaining to standards and procedures applicable to all conditional uses.	Standard condition to ensure any uses to not become nuisances.	

Key:

Green = compliant

Yellow = legal but may require further inspection

Red = non-compliant

"OK" denotes a condition that is currently existing and conforming the zoning district.

Landscape Regulations (Article IV, Ch. 130)

Total needed: 3,447 points

(40 points per 1,000 square feet of impervious area. Impervious area is 86,124 sq ft)

Kwik Trip: 3,776

Comments:

- Prior plans showed preservation of existing trees on site. It has since been determined that
 root structures of those trees will be damaged during construction. The City is requesting that 5
 evergreen trees be added to the landscape plan to mitigate the loss of these trees, and placing
 at least 3 of these evergreens located by the bioretention pond near the parking lot area
- Good pedestrian linkages to public sidewalk and around building.
- Patio and parking lot shrubbery appreciated.

Other Relevant Zoning Code Standards

Performance Standards (Article III, Ch. 130)

Plan Commission to consider nuisances or adverse impacts related to air pollution, fire/explosive hazards, glare/heat, liquid/solid wastes, noise, odors, radioactivity, electrical disturbances, vibration, or water quality.

Staff comments that diesel canopy is close to a residential neighborhood with little in the way of shielding noises. Per the sign ordinance, the canopy will not have backlit signage. There will still be the issue of light emitting from the canopy, which should not cross property lines or measure more than 0.5 footcandles at the property line.

Staff has also received comments from neighbors concerned about negative health impacts from living so close to a gas station.

Signs

(Article X, Ch. 130)

Staff to work with applicant on separate sign application, but preliminary details have depicted appropriate signage in this location.

No electronic messaging signs will be allowed. Applicant to utilized a monument sign, and halo lighting to be used in place of standard backlit strip lighting on fuel canopies.

Parking

(Article XI, Ch. 130)

Section 130-419(3)

One space per 300 square feet of gross floor area for convenience store // Needs 31

One space per 3 seats of food counter seating // /

One Space per employee on the largest work shift of the food counter // Needs 3

Total parking not to exceed 15% of minimum needed **Total needed:** 34 total, 2 accessible (39 max)

Kwik Trip:

- 26 standard parking spaces
- 2 accessible parking spaces
- 18 standard fueling stalls
- 2 trailer parking stalls
- 2 accessible fueling stalls
- 2 diesel stalls

Comments:

There is some ambiguity regarding if the number of spaces provided meets zoning code requirements. Zoning code does not indicate if fueling stalls are considered parking spaces. Staff recommends that Plan Commission approves the site plan with the stalls as shown, noting that some of the fueling stalls will double as customer parking. Plan Commission is allowed to grant parking exceptions to the minimums required per Sec. 130-1302(p) of the Zoning Code.

Lighting

(Article XI, Ch. 130)

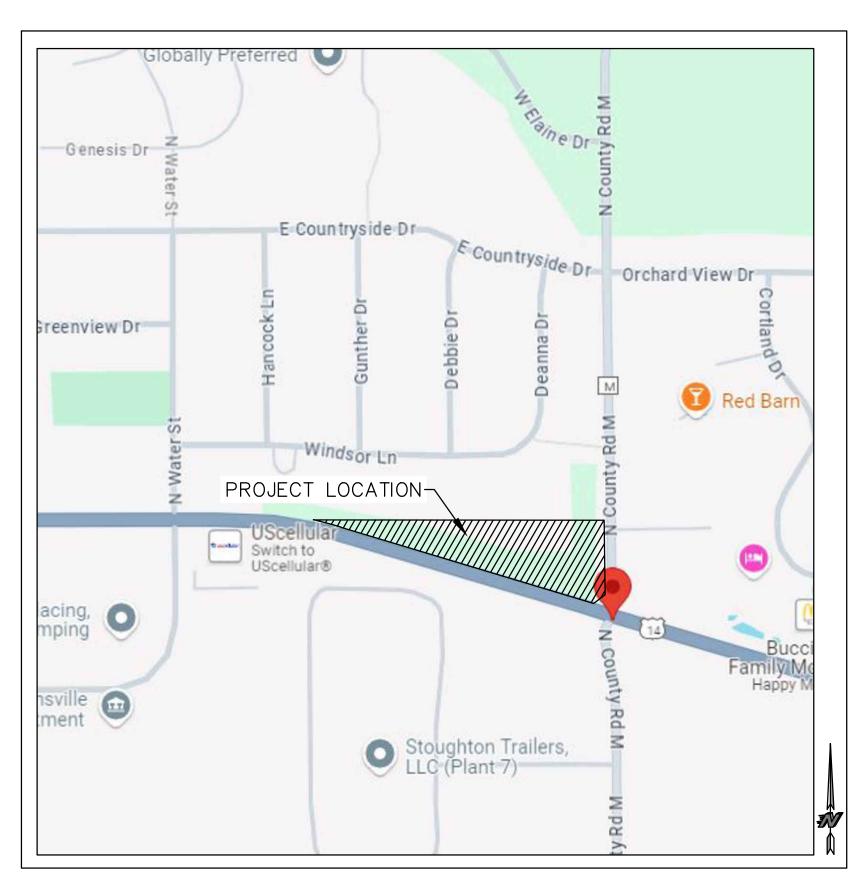
Lighting plan needed to ensure lighting does not trespass onto neighboring residential properties. Max illumination at property line shared with residences cannot exceed 0.5 footcandles. The proposed lighting plan conforms to those standards.

The photometric site plan provided does not include illumination from proposed streetlights requested by the City, which should not affect the residential properties.



KWIK TRIP STORE #1750

ENGINEERING PLANS HIGHWAY 14 & COUNTY ROAD M CITY OF EVANSVILLE **ROCK COUNTY, WISCONSIN**



DATUM NOTES, SURVEY PROVIDED BY EXCEL ENGINEERING, INC.

- 04/09/2024 BY FROM BATTERMAN.
- 2. BEARINGS ARE REFERENCED TO THE WISCONSIN COORDINATE REFERENCE SYSTEM, ROCK ZONE. QUARTER SECTION 26-4-10 BEARING S89°54'18"E.

SITE LOCATION MAP

1. EXISTING CONDITIONS SHOWN ON THIS PLAN ARE FROM ALTA/NSPS LAND TITLE SURVEY, DATED

3. ELEVATIONS REFER TO NAV88 DATUM.

PLAN PREPARED BY: MICHAEL A. CHRISTENSON, P.E. raSmith (262) 317-3324 Michael.Christenson@rasmith.com

SETH WADDELL 1626 OAK STREET LA CROSSE, WI 54602 PHONE: 608-793-4933

CHRISTOPHER B. WHITE, P.E.

EMAIL: Christopher.White@rasmith.com

EMAIL: Michael.Christenson@rasmith.com

MICHAEL A. CHRISTENSON, P.E.

EMAIL: Rob.Williams@raSmith.com

ROB WILLIAMS, PLA, ASLA

LANDSCAPE ARCHITECT

16745 W. BLUEMOUND RD.

PHONE: 262-781-1000

BROOKFIELD, WI 53005-5938

PROJECT MANAGER

CIVIL ENGINEER

MICHAEL A. CHRISTENSON 47158-6 12/04/2024 REGISTERED ENGINEER



AERIAL LOCATION MAP

LEGAL DESCRIPTION TITLE COMMITMENT NO. NCS-1206065-MAD

LOT 1 OF CERTIFIED SURVEY MAP RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR ROCK COUNTY, WISCONSIN ON NOVEMBER 10, 1983, IN VOLUME 11 OF CERTIFIED SURVEY MAPS, PAGE 320, AS DOCUMENT NO. 978053, AND CARD NO. 154, IMAGE NO. 771-772, SAID CERTIFIED SURVEY MAP BEING A REDIVISION OF PART OF THE NORTHWEST $\frac{1}{4}$ OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 4 NORTH RANGE 10 EAST OF THE 4TH PRINCIPAL MERIDIAN, UNION TOWNSHIP, ROCK COUNTY, WISCONSIN.

C801

C900

SHEET I	NDEX
C000	TITLE SHEET
	ALTA/NSPS LAND TITLE SURVEY
C020	DEMOLITION PLAN
C100	SITE KEYNOTE PLAN
C180	SITE CIRCULATION PLAN
C181	SITE DIMENSION PLAN
C201	GRADE PLAN
C202	ACCESSIBLE PLAN
C300	STORM SEWER PLAN
C400	UTILITY PLAN

SITE DETAILS SITE DETAILS C502 STORMWATER DETAILS C503 STORMWATER DETAILS C600 **EROSION CONTROL PLAN** C601 **EROSION CONTROL NOTES**

C602 **EROSION CONTROL DETAILS** C700 LANDSCAPE PLAN C701 LANDSCAPE NOTES AND DETAILS PHOTOMETRIC SITE PLAN - BY OTHER C800

IRRIGATION PLAN - BY OTHER

PHOTOMETRIC RENDERING PLANS - BY OTHERS

KWIK TRIP



KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



750 EL #1 ES TORE CONVENIENCE WITH 10 MPD 8

		\)	
1	# DATE	DESCRIP	TION
-			
-			
-			
-			
Ŀ			
Ī	DRAWN BY		MAC
	SCALE		GRAPHIC
<u> </u>	PROJ. NO.		3240196
<u> </u>	DATE		02/18/2024

SHEET

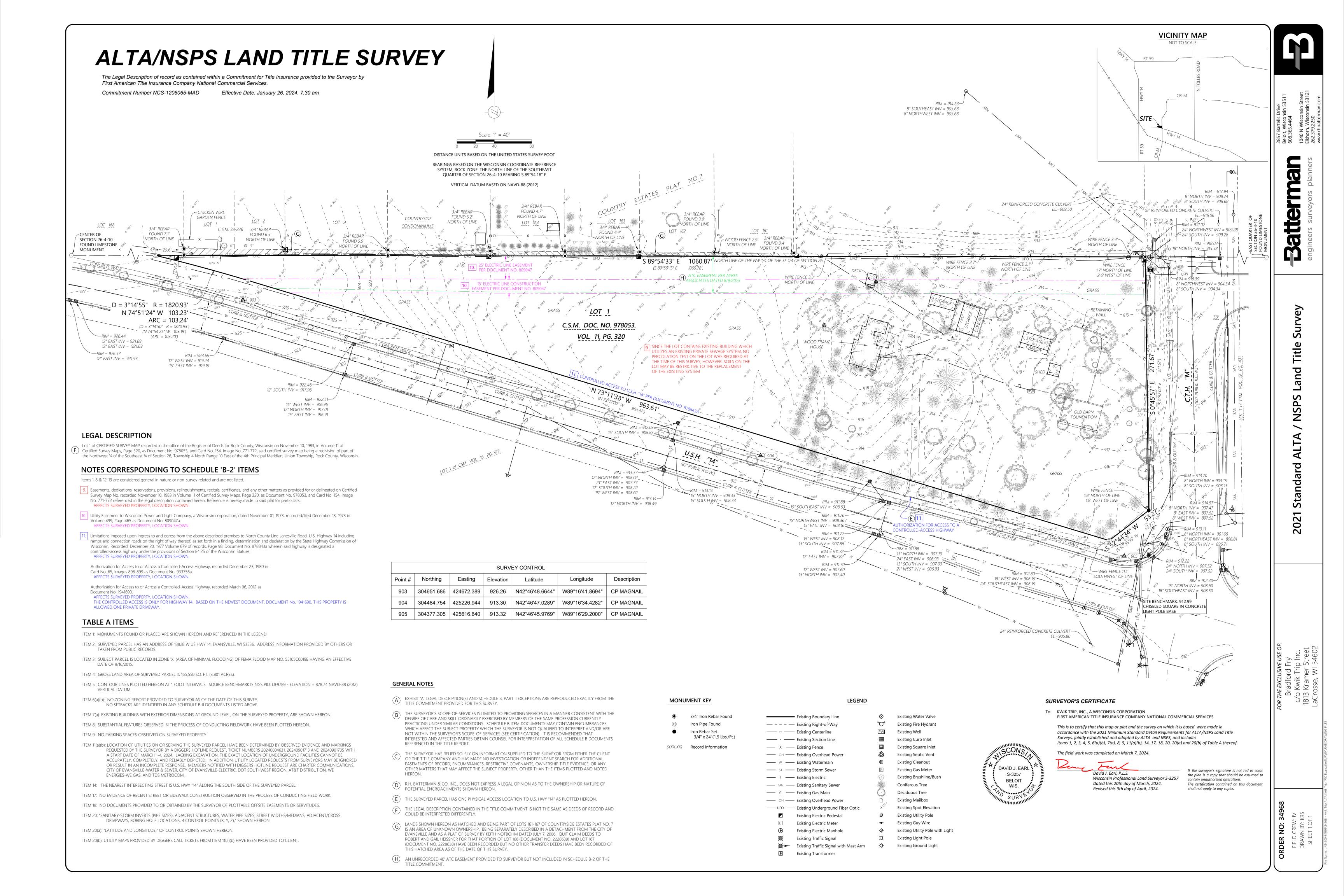
C000

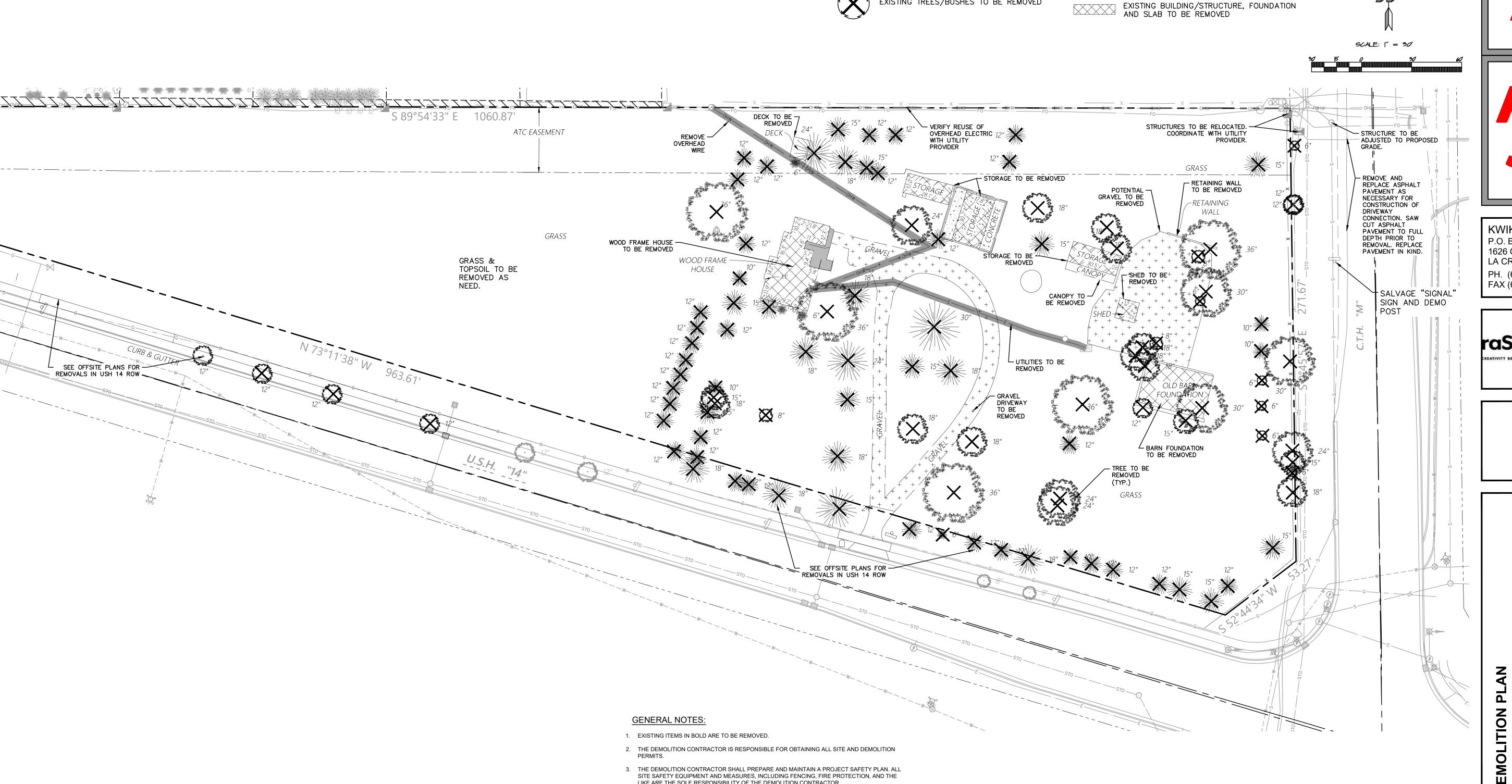
Know what's below. Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC. ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO

ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING

THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.





3. THE DEMOLITION CONTRACTOR SHALL PREPARE AND MAINTAIN A PROJECT SAFETY PLAN. ALL SITE SAFETY EQUIPMENT AND MEASURES, INCLUDING FENCING, FIRE PROTECTION, AND THE

6. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION, ELEVATION, AND CONDITION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE

7. DAMAGE TO ALL EXISTING CONDITIONS THAT WERE TO REMAIN WILL BE REPLACED AT

CONTRACTOR'S EXPENSE.

4. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTINUOUS ACCESS SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC. 5. THE DEMOLITION CONTRACTOR SHALL DEVELOP, OBTAIN NECESSARY APPROVALS/PERMITS AND MAINTAIN TRAFFIC AND PEDESTRIAN CONTROL PLANS THROUGHOUT ALL PHASES OF

LIKE ARE THE SOLE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR.

<u>LEGEND</u>

---- PROPERTY LINE/ RIGHT OF WAY

UTILITY TO BE REMOVED OR ABANDONED

+ + + + + + + EXISTING GRAVEL TO BE REMOVED

EXISTING CONCRETE PAVEMENT TO BE REMOVED

EXISTING ASPHALT PAVEMENT TO BE REMOVED

KWIK TRIP



KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



750 EL <u>S</u> RE# ORE

RO,

/ENIENCI

Q	W C	主面
# DATE	DESCRIPTI	ON
DRAWN BY		MAC
SCALE		GRAPHIC
PROJ. NO.		3240196
DATE		02/18/2024
SHEET		C020

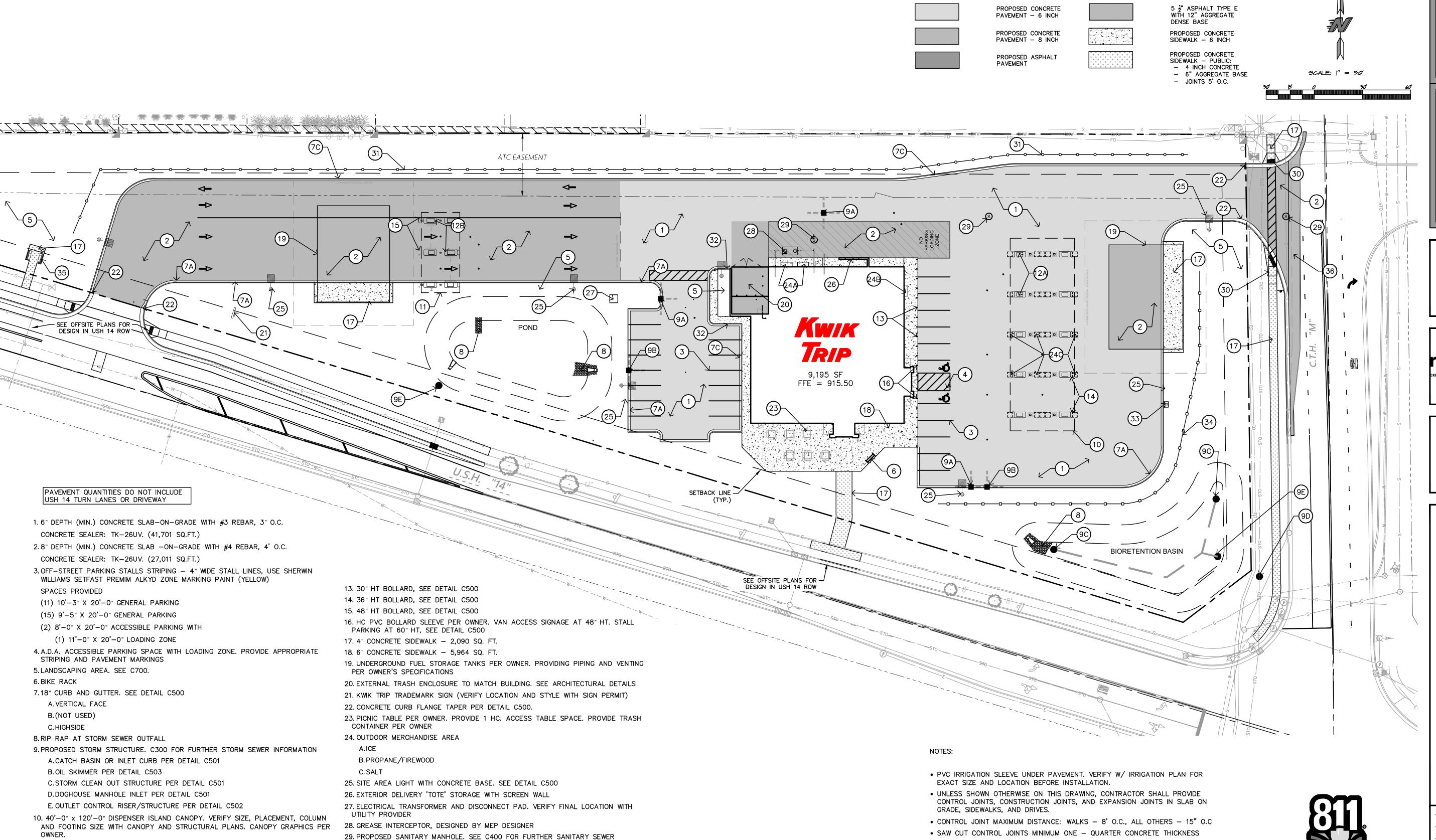
Know what's below.

Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM

CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC. ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING

THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.



INFORMATION.

30. PROPOSED CURB RAMP. SEE DETAIL C500.

32. CURB HEAD TAPER. SEE DETAIL C500.

35.BENCHES WITH TRASH CAN

31. PROPOSED PRIVACY FENCE (BROWN PVC 6FT TALL)

34.PROPOSED SPLIT RAIL FENCE ON TOP OF A BERM

33. "FREE AIR" COMPRESSOR. PROVIDE SIGNAGE PER OWNER.

36.5 $\frac{1}{2}$ " ASPHALT TYPE E WITH 12" AGGREGATE BASE - 1,111 SQ. FT.

11. 24'-0" x 50'-0" DISPENSER ISLAND CANOPY. VERIFY SIZE, PLACEMENT, COLUMN AND FOOTING SIZE WITH CANOPY AND STRUCTURAL PLANS. CANOPY GRAPHICS PER

12. CONCRETE ISLANDS W/6" EXPOSURE WITH FUEL DISPENSERS. DISPENSER PER

OWNER.

a. 3'-6" x 7'-0" AT GAS CANOPY

b. 3'-6" x 8'-0" AT DIESEL CANOPY

KWIK TRIP

<u>LEGEND</u>

• EXPANSION JOINT MAXIMUM DISTANCE: WALKS - 24' O.C., ALL OTHERS - 60'

• DOWEL ALL EXPANSION JOINTS SHALL BE PLACED WHERE CONCRETE PAVEMENT

• THE HASHING IN THE "NO PARKING LOADING ZONE" AREA AND ANY OTHER

• LETTERING FOR ALL WORDING SUCH AS "NO PARKING LOADING ZONE" AND

AREA THAT IS HASHED, THE LINES SHOULD BE 5' SPACED OC.

• CONTRACTOR TO PROVIDE JOINTING PLAN FOR OWNER REVIEW

THICKNESS CHANGE AND ALONG CURB AND GUTTERS.

CARWASH SHOULD BE 12" TALL.

PROPERTY LINE



KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960

rasmith 16745 W. Bluemound Road Brookfield, WI 53005-5938

50 **/**/ ~ N # **Ú** ORE

ENIEN O MPC <u>4</u> Щ

0

Know what's below.

CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT

THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED.

THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING

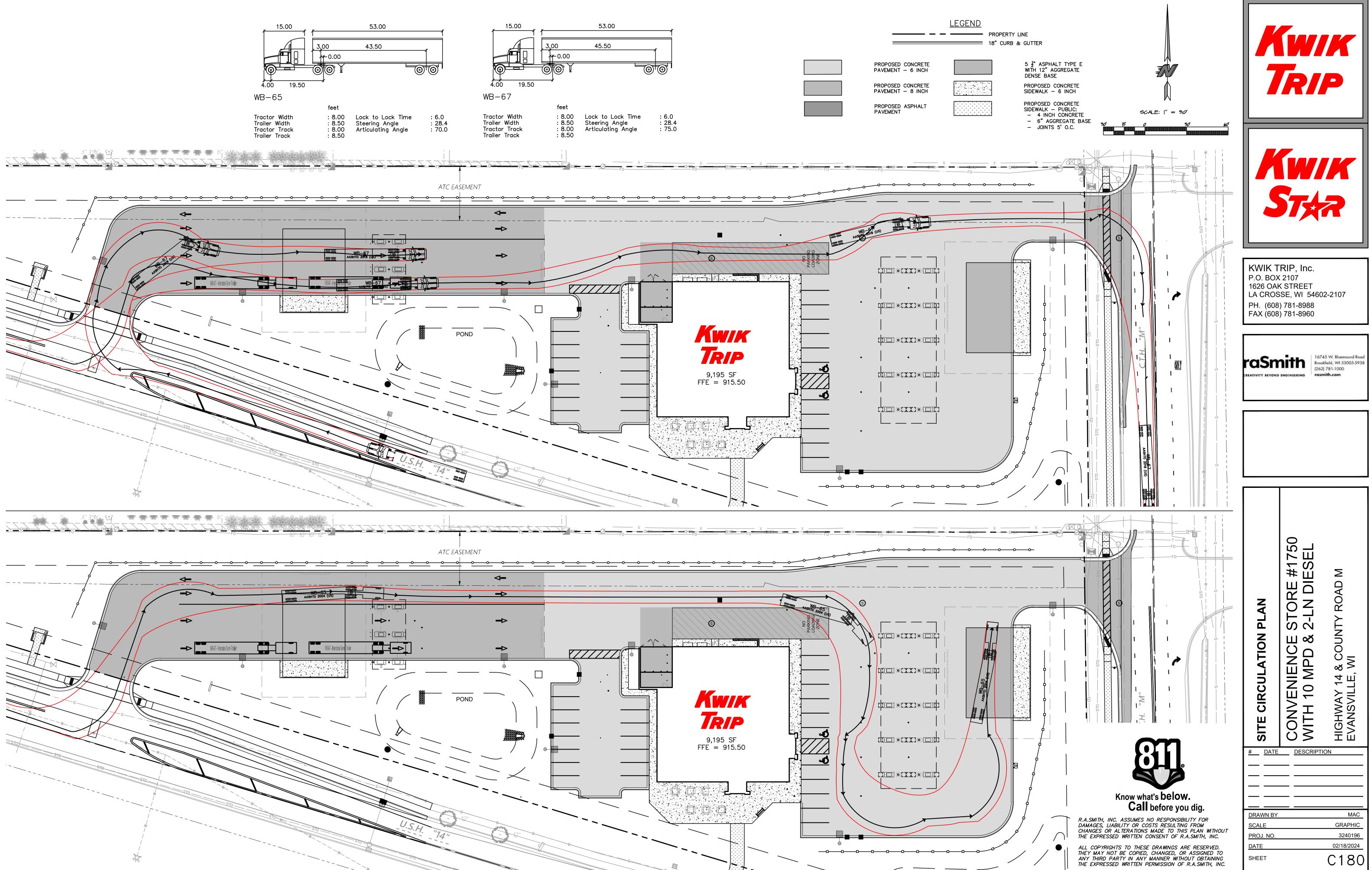
THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR

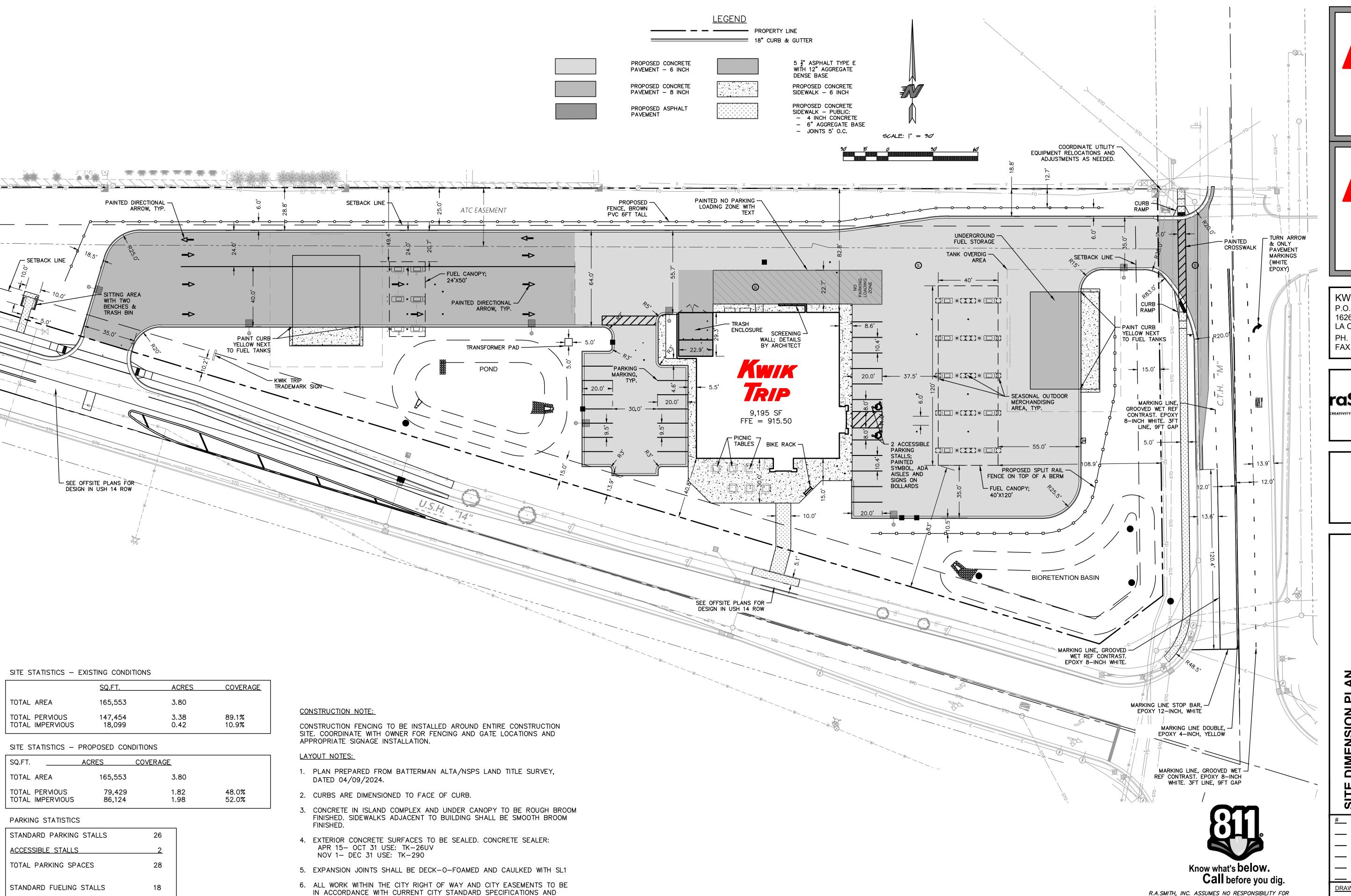
DAMAGES, LIABILITY OR COSTS RESULTING FROM

Call before you dig.

)	>	-	_	Ш
#	DATE	<u>D</u>	ESCRIP	ΓΙΟΝ		
DRA\	WN BY					MAC
SCAL	_E			(GR/	APHIC
PRO.	J. NO.				32	40196
DATE	Ξ			0:	2/18	3/2024
SHEI	ΕT			C	1	00



S	
DATE	DESCRIPTION
	-
	MAC
DRAWN BY	MAC
SCALE	GRAPHIC_
PROJ. NO.	3240196
DATE	02/18/2024
SHEET	C180



DETAILS, NOTIFY CITY ENGINEERING DEPT. 5 DAYS PRIOR TO WORK IN THE

RIGHT OF WAY.

ACCESSIBLE FUELING STALLS

DIESEL FUELING STALLS

TOTAL FUELING SPACES

RIP



KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



16745 W. Bluemound Road

750 EL # W ORE 'N DII ENIENCI O MPD

4 ⊞ HIGHWAY EVANSVILI

DATE DESCRIPTION DRAWN BY MAC GRAPHIC PROJ. NO. 3240196 02/18/2024 C181 SHEET

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR

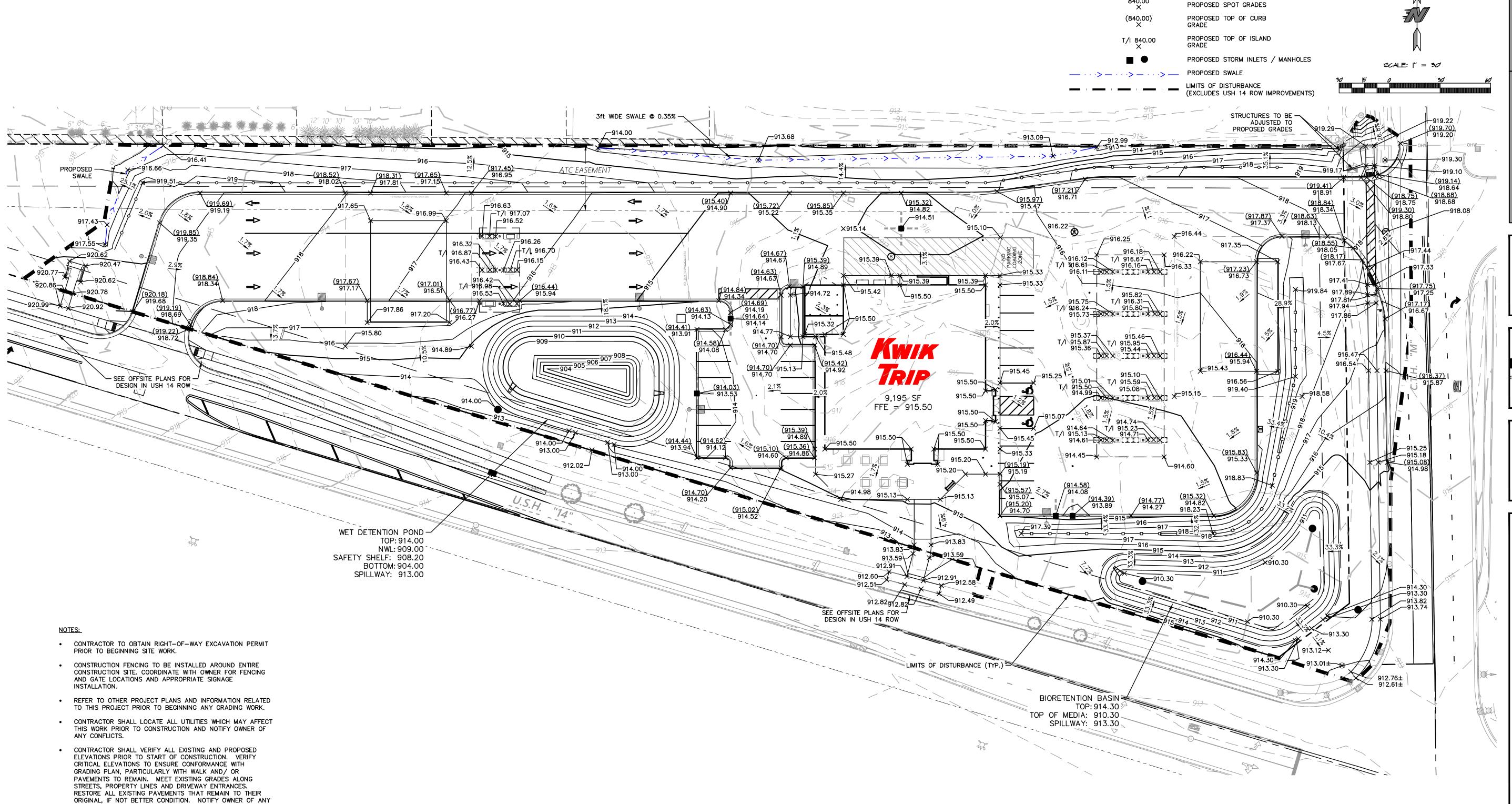
CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT

THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED. CHANGED. OR ASSIGNED TO

ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.

DAMAGES, LIABILITY OR COSTS RESULTING FROM







KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960

raSmith | 16745 W. Bluemound Road | Brackfield, WI 53005-5938 | (2621.781,1000

16745 W. Bluemound Road

50 **1**/2 # W ORE N DI OUNT ⊗ S S <u>4</u> Щ

ENIENCI O MPD

HIGHWAY EVANSVILI DATE DESCRIPTION DRAWN BY MAC GRAPHIC 3240196 02/18/2024 C201 SHEET

<u>LEGEND</u>

EXISTING SPOT ELEVATION

EXISTING CONTOURS

PROPOSED CONTOURS

Know what's below.

Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC. ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO

ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.

CONFLICTS.

DRAINAGE IN ALL R.O.W.

 AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 3" DEPTH COMPACTED TOPSOIL. UNLESS

 CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT

 REFER TO OWNER'S SPECIFICATIONS FOR CURB, APPROACH, BITUMINOUS, AND CONCRETE PROFILES, AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

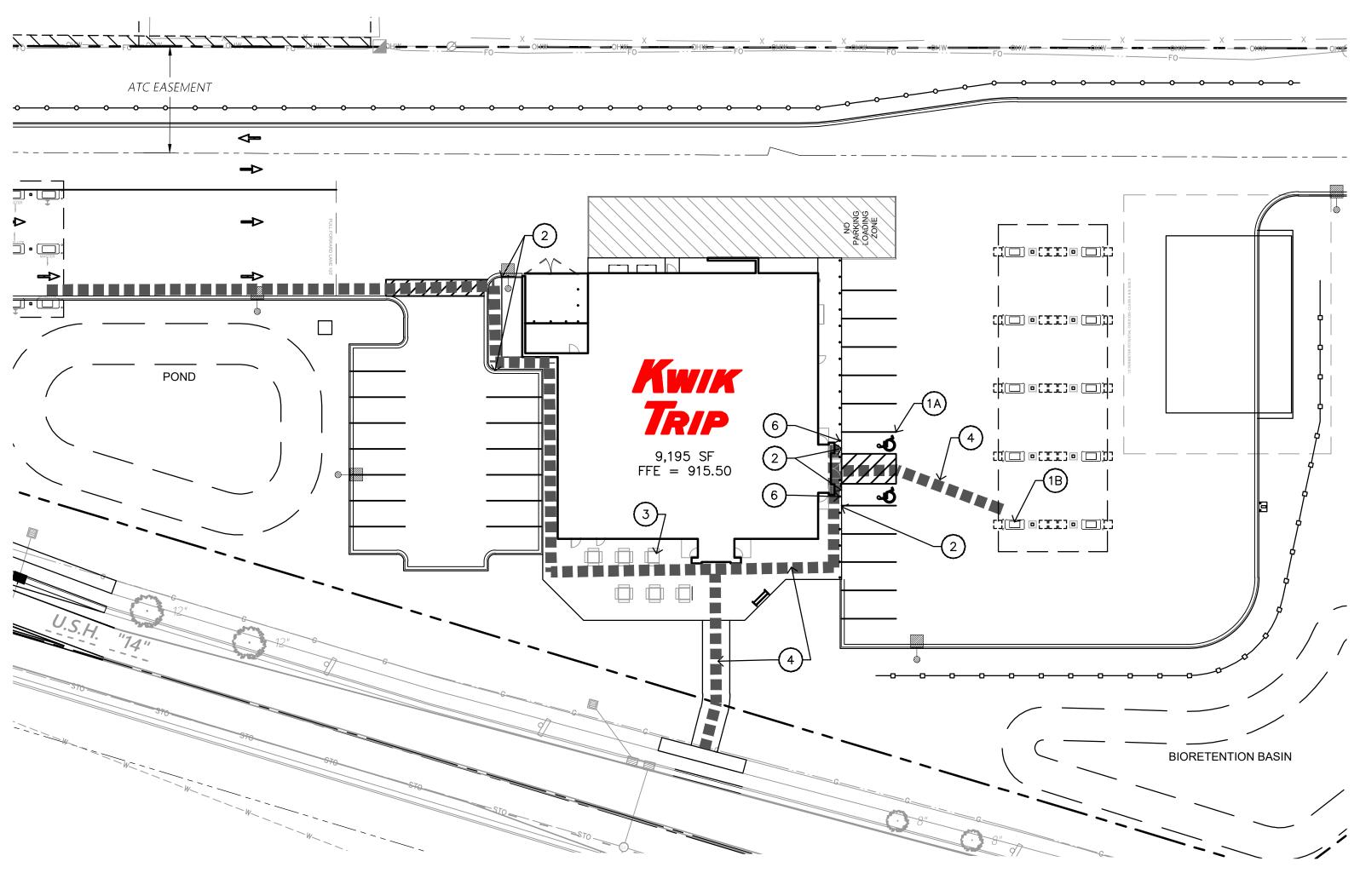
ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING

PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR

AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND

OTHERWISE NOTED ON THE LANDSCAPE PLAN

AT NO ADDITIONAL COST TO THE OWNER.



1. ACCESSIBLE STALLS

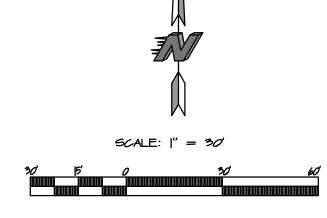
A. STRIPING - 4" WIDE STALL LINES, USE HIGH VISIBILITY BLUE PAINT. SPACES PROVIDED

(2) 8'-0"x 20'-0" MIN. ACCESSIBLE PARKING WITH

(1) 8'-0"x 20'-0" MIN. LOADING ZONE

B. ACCESSIBLE FUELING POINT AND DISPENSER AND VALET. VALET AND KEY PAD ON PUMP SHALL CONFORM TO ADA REACH DIMENSIONS AS SHOWN IN DETAIL. SEE NOTES FOR CONVENIENCE STORE ACCESSIBILITY.

- 2. PAVEMENTS FLUSH FOR ACCESSIBILITY.
- 3. PICNIC TABLE W/ ACCESSIBLE PLACEMENT, PROVIDE TRASH CONTAINER; CONFIRM WITH OWNER FOR FINAL LOCATIONS.
- 4. ACCESSIBLE ROUTE TO STORE.
- 5. CURB RAMP.
- 6. ADA BOLLARD SIGNAGE.



NOTES FOR CONVENIENCE STORE ACCESSIBLITY

AT LEAST 1 MPD (MULTI PRODUCT DISPENSER) COVERING ALL GRADES OF FUEL MUST BE ACCESSIBLE IN A 30"X48" CLEAR LEVEL FLOOR AREA (CLF).

ALL PUMP CONTROLS SHALL BE < 48"(2010 STANDARD). WINDOW WASHER, PAPER TOWEL DISPENSER, LITERATURE, FIRE EXTINGUISHER, EMERGENCY FUEL STOPS, ETC. BE ACCESSIBLE 30"X48" CLF SPACE AND WITHIN A FORWARD OR SIDE APPROACH REACH RANGE.

PROVIDE ISA(INDUSTRY STANDARD ARCHITECTURE) AT EACH ACCESSIBLE FUEL POSITION ON FACE OF PUMP.

PROVIDE ISA AT EACH ACCESSIBLE FUELING POSITION VISIBLE TO APPROACHING VEHICLES.

PROVIDE A SIGN AT EACH ACCESSIBLE FUELING POSITION WITH STORE TELEPHONE NUMBER, ADVISING AVAILABLE FUELING ASSISTANCE.

-REFER TO THE DOCUMENT FROM THE DEPARTMENT OF JUSTICE ON "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN". CONTRACTOR SHALL REFERENCE CURRENT A.D.A. GUIDELINES AND LOCAL REGULATIONS FOR SITE ACCESSIBILITY. IN ALL CASES THE MINIMUM REQUIREMENTS SHALL BE PROVIDED ON SITE TO ENSURE COMPLIANCE TO ALL REGULATIONS.

- KWIK TRIP STANDARD ENTRANCE DOOR IS AUTOMATIC SLIDING DOOR SYSTEM DESIGNED TO COMPLY WITH ALL ACCESS CODES AND LAWS. ENTRANCE DOORS FOR ACCESSIBLE ROUTES WILL HAVE A MINIMUM CLEAR OPENING OF 32"

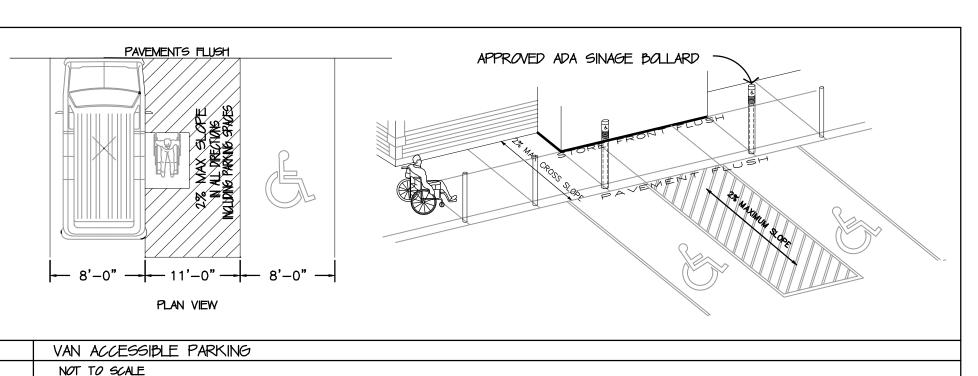
-STORE FRONTS WILL PROVIDE FLUSH PAVEMENTS ALONG ACCESSIBLE ROUTES WITH PROTECTIVE SECURITY BOLLARDS INDICATED AND SPACED BETWEEN PARKING SURFACES AND BUILDING WALK PER PLAN.

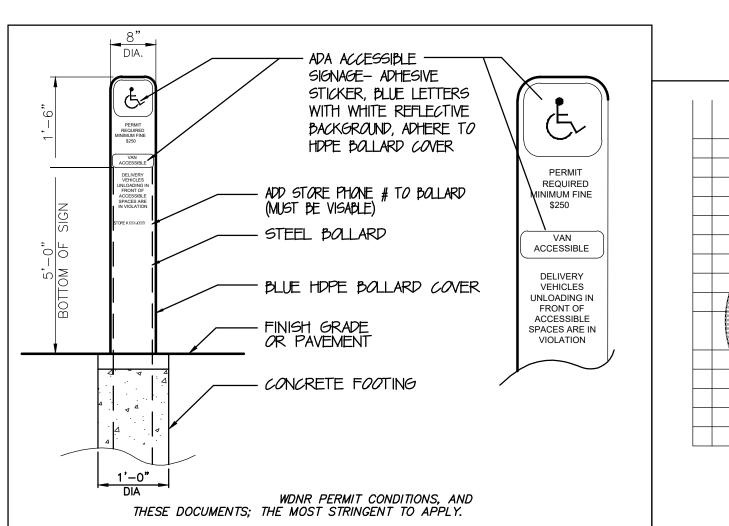
-NO OBJECTS OR DISPLAYS SHOULD PROTRUDE INTO THE MINIMUM CLEAR SPACE OF THE ACCESSIBLE ROUTES TO THE STORE ENTRANCE. THIS WILL INCLUDE SEASONAL DISPLAY VENDING AREAS AS WELL AS OTHER OUTDOOR STORAGE UNITS FOR PROPANE AND ICE, ETC.

-PER A.D.A GUIDELINES- CLEAR WIDTH OF ACCESSIBLE ROUTES SHALL BE 36" AND PERMITTED TO BE REDUCED TO 32" FOR A LENGTH OF 24".

- ACCESS ISLES SERVING WHEEL CHAIR LIFTS OR CHAIR ACCESS FROM VEHICLES ARE REQUIRED TO BE NEARLY LEVEL IN ALL DIRECTIONS TO PROVIDE SAFE TRANSFER OF WHEELCHAIRS TO AND FROM VEHICLES. THE EXCEPTION WOULD BE FOR DRAINAGE. MAXIMUM SLOPE FOR THE ACCESS ISLE IS 1:48. NO CURB RAMPS SHALL BE A PART OF THE ACCESS ISLE.

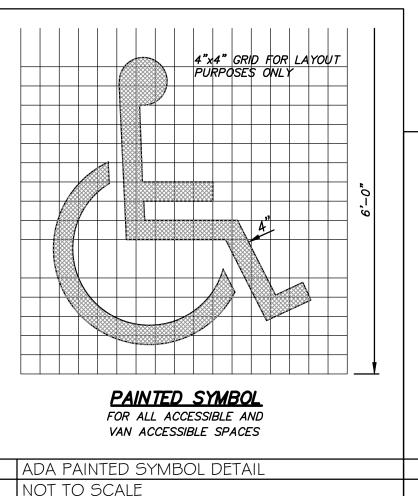
-IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH THE DESIGNATION OF 1 "VAN ACCESSIBLE" IN EVERY 8 ACCESSIBLE SPACES ON SITE.

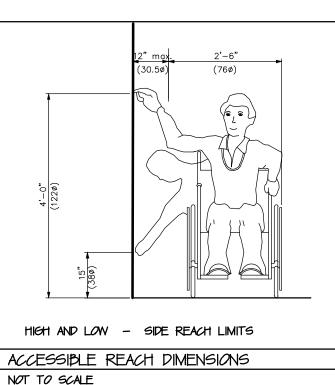


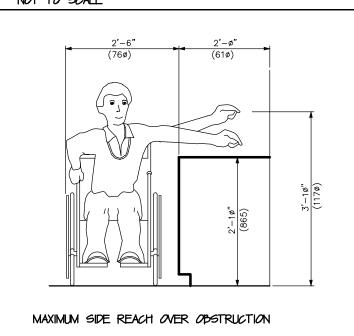


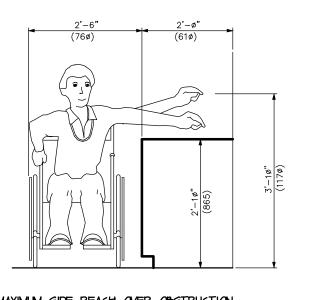
ADA BOLLARD SIGNAGE

NOT TO SCALE











Know what's below. Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC. ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING

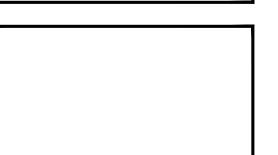
THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.





KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960

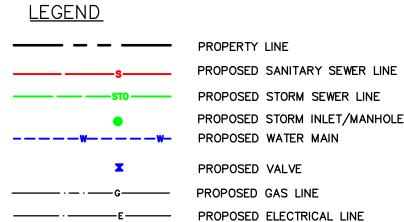


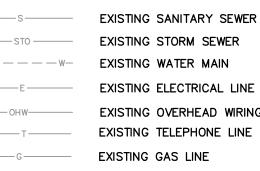


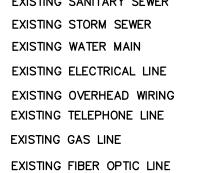
750 EL # W TORE ENIENCI O MPD Ō **4** ⊞

-
DESCRIPTION
MAC
GRAPHIC
3240196
3240196 02/18/2024

PIPE CROSSING TABLE							
CROSSING I.D.	вотт	OM OF TOP	PIPE	TOP (OF BOTTON	1 PIPE	SEPARATION (FT)
Α	STO	HDPE 12"	908.84	WAT	PVC 2"	907.27	1.57
В	STO	PVC 6"	911.21	WAT	PVC 2"	908.27	2.94
С	STO	PVC 8"	911.70	SAN	PVC 6"	909.15	2.55
D	STO	PVC 6"	912.03	SAN	PVC 6"	908.64	3.38
E	STO	HDPE 24"	908.76	SAN	PVC 6"	904.97	3.79











KWIK TRIP. Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960

rasmith | 16745 W. Bluemound Road | Brookfield, WI 53005-5938 | (262) 781,1000

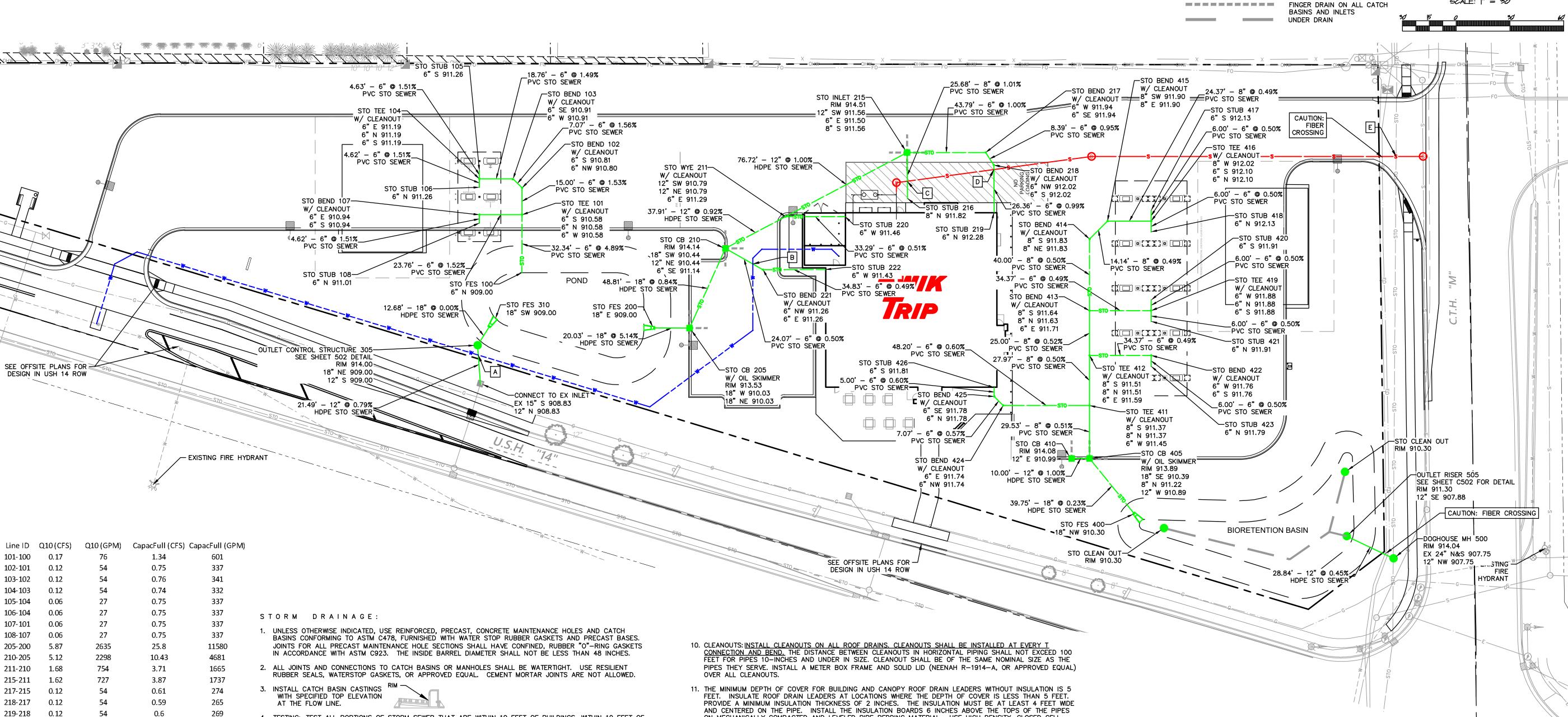
16745 W. Bluemound Road

 \sim \sim **#** Ŭ

DATE DESCRIPTION

HIGHW/ EVANS

	_
	
DRAWN BY	MAC
SCALE	GRAPHIC
PROJ. NO.	3240196
DATE	02/18/2024
SHEET	C300



4. TESTING: TEST ALL PORTIONS OF STORM SEWER THAT ARE WITHIN 10 FEET OF BUILDINGS, WITHIN 10 FEET OF BURIED WATER, LINES, WITHIN 50 FEET OF WATER WELLS, OR THAT PASS THROUGH SOIL OR WATER IDENTIFIED AS BEING CONTAMINATED. TEST ALL FLEXIBLE STORM SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST.

359

1692

283

238

193

103

108

216-215

220-211

221-210

222-221

405-400

411-405

412-411

413-412

414-413

415-414

416-415

418-416

417-416

419-413

420-419

421-419

424-411

425-424

426-425

422-412

423-422

410-405

0.8

0.12

0.12

0.12

3.77

0.63

0.53

0.43

0.23

0.23

0.24

0.12

0.12

0.24

0.12

0.12

0.12

0.12

0.12

0.12

0.12

1.86

1.32

0.43

0.43

0.42

5.41

0.93

0.93

0.94

0.93

0.92

0.92

0.43

0.43

0.43

0.43

0.43

0.47

0.46

0.47

0.43

0.43

3.86

592

193

193

189

2428

417

417

422

417

413

413

193

193

193

193

193

211

206

211

193

193

1732

5. PVC PIPE: USE SOLID-CORE, SDR-35, ASTM D3034 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 4 TO 15-INCHES IN DIAMETER. USE SOLID-CORE, SDR-35, ASTM F679 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 18 TO 27-INCHES IN DIAMETER. JOINTS FOR ALL STORM SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321.

6. RCP: REINFORCED CONCRETE PIPE (RCP) AND FITTINGS SHALL CONFORM TO ASTM C76, DESIGN C, WITH CIRCULAR REINFORCING FOR THE CLASS OF PIPE SPECIFIED. USE CLASS IV RCP FOR PIPES 21" AND LARGER. USE CLASS V RCP FOR PIPES 18" AND SMALLER. JOINTS SHALL BE BUREAU OF RECLAMATION TYPE R-4, WITH CONFINED RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C361.

7. USE NEENAH R-3067-R CASTING WITH CURB BOX, OR APPROVED EQUAL, ON CB. USE NEENAH R-2501-C CASTING OR APPROVED EQUAL, ON INL. USE NEENAH FOUNDRY CO. R-1642 CASTING WITH SELF-SEALING. SOLID, TYPE B LID, OR APPROVED EQUAL, ON ALL STORM SEWER MAINTENANCE HOLES AND MANHOLES. COVERS SHALL BEAR THE "STORM SEWER" LABEL. CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

8. INSTALL DETECTABLE UNDERGROUND MARKING TAPE DIRECTLY ABOVE ALL PVC, POLYETHYLENE, AND OTHER NONCONDUCTIVE UNDERGROUND UTILITIES AT A DEPTH OF 457 MM (18 INCHES) BELOW FINISHED GRADE, UNLESS OTHERWISE INDICATED. BRING THE TAPE TO THE SURFACE AT VARIOUS LOCATIONS IN ORDER TO PROVIDE CONNECTION POINTS FOR LOCATING UNDERGROUND UTILITIES. INSTALL BLUE RHINO TRIVIEW FLEX TEST STATIONS, OR APPROVED EQUAL, WITH BLACK CAPS AT EACH SURFACE LOCATION.

9. TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH CODE SECTION SPS 382.30(11)(H)

ON MECHANICALLY COMPACTED AND LEVELED PIPE BEDDING MATERIAL. USE HIGH DENSITY, CLOSED CELL, RIGID BOARD MATERIAL EQUIVALENT TO DOW STYROFOAM HI-40 PLASTIC FOAM INSULATION.

12. INSTALL ALL PIPE WITH THE ASTM IDENTIFICATION NUMBERS ON THE TOP FOR INSPECTION. COMMENCE PIPE LAYING AT THE LOWEST PINT IN THE PROPOSED SEWER LINE, LAY THE PIPE WITH THE BELL AND OR RECEIVING GROOVE END OF THE PIPE POINTING UPGRADE. WHEN CONNECTING TO AN EXISTING PIPE, UNCOVER THE EXISTING PIPE IN ORDER TO ALLOW ANY ADJUSTMENTS IN THE PROPOSED LINE AND GRADE BEFORE LAYING ANY PIPE. DO NOT LAY PIPES IN WATER OR WHEN THE TRENCH CONDITIONS ARE UNSUITABLE FOR

13. TRENCH SECTION SHALL BE CLASS "C" FOR CONCRETE AND CLASS "B" FOR ALL OTHER MATERIALS.

HDPE REQUIREMENTS:

1. INSTALL DUAL-WALL, SMOOTH INTERIOR, CORRUGATED HIGH-DENSITY POLYETHYLENE (HDPE) PIPE AT LOCATIONS INDICATED ON THE PLAN. DUAL-WALL, SMOOTH INTERIOR, CORRUGATED HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL CONFORM TO

THE REQUIREMENTS OF AASHTO M252 FOR PIPE SIZES 4-INCH TO 10-INCH DIAMETER. 3. DUAL-WALL, SMOOTH INTERIOR, CORRUGATED HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2306 FOR PIPE SIZES 12-INCH TO 60-INCH DIAMETER. ALL FITTINGS MUST COMPLY WITH ASTM STANDARD D3212.

5. WATER—TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
6. LAY ALL HDPE PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321. ALL SECTIONS OF THE CORRUGATED HDPE PIPE SHALL BE COUPLED IN ORDER TO PROVIDE WATER TIGHT

7. PERFORM DEFLECTION TESTS ON ALL HDPE PIPE AFTER THE SEWER LINES HAVE BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND PERFORM THE TEST AGAIN UNTIL ACCEPTABLE. SUPPLY THE MANDREL FOR DEFLECTION TESTING. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE BALL OR MANDREL SHALL BE CLEARLY STAMPED WITH THE DIAMETER. PERFORM THE TESTS WITHOUT MECHANICAL PULLING DEVICES.



Know what's below. Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH. INC.

SANITARY SEWER:

- PIPE: USE SOLID—CORE, SDR—35, ASTM D3034 (OR APPROVED EQUAL) POLYVINYL CHLORIDE (PVC) PLASTIC PIPE FOR ALL DESIGNATED PVC SANITARY SEWER SERVICES. JOINTS FOR ALL SANITARY SEWER SHALL HAVE PUSH—ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2564. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH
- 2. CLEANOUTS: INSTALL CLEANOUTS ON ALL SANITARY SEWER SERVICES. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE. INCLUDE FROST SLEEVES AND CONCRETE FRAME AND PIPE SUPPORT. INSTALL A METER BOX FRAME AND SOLID LID (NEENAH R-1914-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
- TESTING: PRESSURE TEST ALL SANITARY SEWER LINES. TEST ALL FLEXIBLE SANITARY SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST. 4. UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES CONFORMING TO ASTM C478, FURNISHED WITH PRECAST BASES.

SANITARY SEWER MAINTENANCE HOLES SHALL BE SUPPLIED WITH PRE-FORMED INVERTS AND FLEXIBLE NEOPRENE SLEEVE CONNECTIONS FOR ALL LATERAL LINES 375 MM (15 INCHES) IN DIAMETER OR LESS, UNLESS OTHERWISE INDICATED. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAVE CONFINED, RUBBER

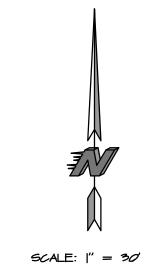
- "O"-RING GASKETS IN ACCORDANCE WITH ASTM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES. 5. INSTALL FLEXIBLE WATERTIGHT FRAME/CHIMNEY SEALS ON ALL SANITARY SEWER MAINTENANCE HOLES. USE EITHER MANUFACTURED MAINTENANCE HOLE
- FRAME/CHIMNEY SEALS OR ELASTOMERIC WATERPROOFING FRAME/CHIMNEY SEALS. USE NEENAH FOUNDRY CO. R-1642 CASTING WITH SELF-SEALING, SOLID, TYPE B LID, OR APPROVED EQUAL, ON ALL SANITARY SEWER MAINTENANCE HOLES. COVERS
- SHALL BEAR THE "SANITARY SEWER" LABEL. TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE
- OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH CODE SECTION SPS 382.30(11)(H). TRENCH SECTION SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. PREFABRICATED WYE CONNECTIONS ARE REQUIRED

PIPE CROSSING TABLE							
CROSSING I.D.	ВОТТ	OM OF TOP	PIPE	TOP OF BOTTOM PIPE		SEPARATION (FT)	
Α	STO	HDPE 12"	908.84	WAT	PVC 2"	907.27	1.57
В	STO	PVC 6"	911.21	WAT	PVC 2"	908.27	2.94
С	STO	PVC 8"	911.70	SAN	PVC 6"	909.15	2.55
D	STO	PVC 6"	912.03	SAN	PVC 6"	908.64	3.38
E	STO	HDPE 24"	908.76	SAN	PVC 6"	904.97	3.79

	PROPERTY LINE
s	PROPOSED SANITARY SEWER LINE
——————————————————————————————————————	PROPOSED STORM SEWER LINE
•	PROPOSED STORM INLET/MANHOLE
ww-	PROPOSED WATER MAIN
x	PROPOSED VALVE
	PROPOSED GAS LINE
E	PROPOSED ELECTRICAL LINE
<	PROPOSED SWALE

LEGEND

EXISTING SANITARY SEWER EXISTING STORM SEWER EXISTING WATER MAIN EXISTING ELECTRICAL LINE EXISTING OVERHEAD WIRING EXISTING TELEPHONE LINE EXISTING GAS LINE EXISTING FIBER OPTIC LINE







KWIK TRIP. Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



0 0

DATE DESCRIPTION **GRAPHIC**

DRAWN BY 3240196 02/18/2024 C400 SHEET

FOR SANITARY LATERALS ATC EASEMENT **EXISTING MANHOLE** STRUCTURE TO BE CAUTION: -ADJUSTED TO FIBER ---------PROPOSED GRADE CROSSING L 185.0'-6"_ SAN @ 1.68% CONNECT TO EXISTING 8" SANITARY SEWER 109.8'-6" PVC RIM 916.22 14.1'-2" PVC RIM 918.20 SAN @ 1.04% 6" W 907.56 __WATER @ 7.07% EX 8" N&S 904.13 [6" E 907.31] □ □ [RIM 915.08 39.1'-2" PVC 6" W 904.21 -45° BEND __6" S 908.95^{_} WATER @ 2.23% 2" SW 909.24 '6" E 908.70**-**2" E 909.24 45° BEND-∕−45° BEND 2" SW 908.33 2" W 909.20 2" E 908.33 SAN @ 1.04% 2" SE 909.20 5.6'-2" PVC 6"N 909.00 WATER @ 2.23% -WATER STUB 45° BEND 45° BEND-2" S 908.17 2" NW 909.33 POND 2" S 910.24 2" NE 908.17 NE 910.24 34.9'−2" PVC>✓ WATER @ 2.23% WATER @ 7.20% --45° BEND 2" SW 907.27 TO EX 10" MAINT 9,195 SF 2" N 912.75 FFE = 915.50SEE OFFSITE PLANS FOR DESIGN IN USH 14 ROW WATER @ 1.78% 2" W 906.00 **** - EXISTING FIRE HYDRANT CAUTION: FIBER CROSSING **BIORETENTION BASIN** GENERAL: 1. COMPLY WITH THE WORK SAFETY PRACTICES SPECIFIED BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND SEE OFFSITE PLANS FOR EXISTING FEDERAL SAFETY REGULATIONS. OSHA PROHIBITS ENTRY INTO "CONFINED SPACES," SUCH AS MANHOLES AND INLETS (SEE 29 CFR SECTION 1910.146), WITHOUT UNDERTAKING DESIGN IN USH 14 ROW CERTAIN SPECIFIC PRACTICES AND PROCEDURES. CONSTRUCTION SAFETY IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO SOLELY RESPONSIBLE FOR THE IYDRANT MEANS, METHODS, AND SEQUENCING OF THE CONSTRUCTION OPERATIONS. . PERFORM ALL UTILITY WORK IN ACCORDANCE WITH STATE AND VILLAGE REQUIREMENTS. 3. CONNECT TO EXISTING SANITARY SEWER MH'S BY COREDRILLING. CONNECT TO EXISTING STORM SEWER MH'S BY EITHER SAWCUTTING OR COREDRILLING. USE SAWS OR DRILLS THAT PROVIDE WATER TO THE BLADE. MEET ALL CITY STANDARDS AND SPECIFICATIONS FOR THE THE CONNECTION. RECONSTRUCT INVERTS AFTER INSTALLATION. USE WATER STOP GASKETS IN ORDER TO PROVIDE WATERTIGHT SEALS WHEN PENETRATING A STRUCTURE WALL WITH A PIPE. TAKE MEASUREMENTS BEFORE BEGINNING CONSTRUCTION TO ENSURE THAT SERVICE CONNECTIONS DO NOT CUT INTO MAINTENANCE ACCESS STRUCTURE JOINTS OR PIPE BARREL JOINTS. DO NOT ALLOW THE SLURRY PRODUCED BY THIS PROCESS TO BE TRACKED OUTSIDE OF THE IMMEDIATE WORK AREA OR DISCHARGED INTO THE SEWER SYSTEM. 4. PERFORM TRENCH EXCAVATIONS FOR ALL UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF O.S.H.A. 29 CFR, PART 1926, SUBPART P, "EXCAVATIONS AND TRENCHES." (WWW.OSHA.GOV) 5. COORDINATE BUILDING UTILITY CONNECTION LOCATIONS AT 5 FT. OUT FROM THE PROPOSED BUILDING WITH THE WITH THE INTERIOR PLUMBING CONTRACTOR PRIOR TO CONSTRUCTION. VERIFY WATER AND SEWER SERVICE LOCATIONS AND ELEVATIONS WITH THE MECHANICAL ENGINEER PRIOR TO CONSTRUCTION. 6. THE SUBSURFACE UTILITY INFORMATION SHOWN ON THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." 7. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE FROM RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING UTILITIES ARE SHOWN OR, IF SHOWN, EXIST IN THE LOCATIONS INDICATED ON THE PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE FINAL VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES (INCLUDING WATER AND SEWER LINES AND APPURTENANCES). NOTIFY THE ENGINEER OF ANY DISCREPANCIES. HYDRANT 8. CONTACT UTILITY COMPANIES FOR LOCATIONS OF ALL PUBLIC AND PRIVATE UTILITIES WITHIN THE WORK AREA PRIOR TO BEGINNING CONSTRUCTION. CONTACT DIGGER'S HOTLINE AT

(414) 259-1181 IN THE MILWAUKEE METRO AREA, OR 1-800-242-8511 ELSEWHERE IN WISCONSIN FOR EXACT LOCATIONS OF EXISTING UTILITIES AT LEAST 72 HOURS (NOT INCLUDING WEEKENDS AND HOLIDAYS) BEFORE BEGINNING ANY CONSTRUCTION. OBTAIN TICKET NUMBER AND MEET WITH REPRESENTATIVES OF THE VARIOUS UTILITIES AT THE SITE. WATER DISTRIBUTION SYSTEM: PROVIDE THE OWNER WITH THE TICKET NUMBER INFORMATION. DIGGER'S HOTLINE IS A FREE SERVICE THAT LOCATES MUNICIPAL AND UTILITY COMPANY LINES, BUT DOES NOT

LOCATE PRIVATE UTILITY LINES. USE AN INDEPENDENT LOCATOR SERVICE OR OTHER MEANS IN ORDER TO OBTAIN LOCATIONS OF PRIVATE UTILITY LINES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND ELECTRIC CABLES, TELEPHONE, TV, AND LAWN SPRINKLER LINES. 9. POTHOLE TO VERIFY THE POSITIONS OF EXISTING UNDERGROUND FACILITIES AT A SUFFICIENT NUMBER OF LOCATIONS IN ORDER TO ASSURE THAT NO CONFLICT WITH THE PROPOSED WORK EXISTS AND THAT SUFFICIENT CLEARANCE IS AVAILABLE. 10. WHERE EXISTING GAS, ELECTRIC, CABLE, OR TELEPHONE UTILITIES CONFLICT WITH THE WORK, COORDINATE THE ABANDONMENT, RELOCATION, OFFSET, OR SUPPORT OF THE EXISTING

UTILITIES WITH THE APPROPRIATE LOCAL UTILITY COMPANIES. COORDINATE NEW GAS METER AND GAS LINE INSTALLATION, ELECTRIC METER AND ELECTRIC SERVICE INSTALLATION, CABLE SERVICE, AND TELEPHONE SERVICE INSTALLATION WITH THE LOCAL UTILITY COMPANIES. 11. ARRANGE FOR AND SECURE SUITABLE DISPOSAL AREAS OFF-SITE. DISPOSE OF ALL EXCESS SOIL, WASTE MATERIAL, DEBRIS, AND ALL MATERIALS NOT DESIGNATED FOR SALVAGE. WASTE MATERIAL AND DEBRIS INCLUDES TREES, STUMPS, PIPE, CONCRETE, ASPHALTIC CONCRETE, CANS, OR OTHER WASTE MATERIAL FROM THE CONSTRUCTION OPERATIONS.

OBTAIN THE RIGHTS TO ANY WASTE AREA FOR DISPOSAL OF UNSUITABLE OR SURPLUS MATERIAL EITHER SHOWN OR NOT SHOWN ON THE PLANS. ALL WORK IN DISPOSING OF SUCH MATERIAL SHALL BE CONSIDERED INCIDENTAL TO THE WORK. ALL DISPOSAL MUST CONFORM TO APPLICABLE SOLID WASTE DISPOSAL PERMIT REGULATIONS. OBTAIN ALL NECESSARY PERMITS AT NO COST TO THE OWNER.

12. STRAIGHT LINE SAW-CUT EXISTING BITUMINOUS OR CONCRETE SURFACING AT THE PERIMETER OF PAVEMENT REMOVAL AREAS. USE SAWS THAT PROVIDE WATER TO THE BLADE. TACK, AND MATCH ALL CONNECTIONS TO EXISTING BITUMINOUS PAVEMENT. 13. RELOCATE OVERHEAD POWER, TELEPHONE, AND CABLE LINES AS REQUIRED 14. ALL MATERIALS REQUIRED FOR THIS WORK SHALL BE NEW MATERIAL CONFORMING TO THE REQUIREMENTS FOR CLASS, KIND, GRADE, SIZE, QUALITY, AND OTHER DETAILS SPECIFIED

HEREIN OR AS SHOWN ON THE PLANS. DO NOT USE RECYCLED OR SALVAGED AGGREGATE, ASPHALTIC PAVEMENT, CRUSHED CONCRETE, OR SCRAP SHINGLES. UNLESS OTHERWISE INDICATED, THE CONTRACTOR SHALL FURNISH ALL REQUIRED MATERIALS. 15. RESTORE THE PUBLIC RIGHT-OF-WAY. REPLACE ANY CONCRETE CURB AND GUTTER, BITUMINOUS PAVEMENT, SIDEWALK, OR VEGETATIVE COVER DAMAGED BY THE CONSTRUCTION ACTIVITY. RESTORE DAMAGED TURF WITH SOD WITHIN THE PUBLIC RIGHT-OF-WAY. THE WORK AREA SHOWN IS GENERAL AND MAY NEED TO BE ADJUSTED IN THE FIELD.

16. ADJUST ALL CURB STOPS, VALVE BOXES, MAINTENANCE HOLE CASTINGS, CATCHBASIN CASTINGS, CLEANOUT COVERS, AND SIMILAR ITEMS TO FINISHED GRADE. 17. INSTALL ALL PIPE WITH THE ASTM IDENTIFICATION NUMBERS ON THE TOP FOR INSPECTION. COMMENCE PIPE LAYING AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. LAY THE PIPE WITH THE BELL END OR RECEIVING GROOVE END OF THE PIPE POINTING UPGRADE. WHEN CONNECTING TO AN EXISTING PIPE, UNCOVER THE EXISTING PIPE IN ORDER TO ALLOW ANY ADJUSTMENTS IN THE PROPOSED LINE AND GRADE BEFORE LAYING ANY PIPE. DO NOT LAY PIPES IN WATER OR WHEN THE TRENCH CONDITIONS ARE UNSUITABLE FOR

18. OBTAIN AND PAY FOR ALL PERMITS, TESTS, INSPECTIONS, ETC. REQUIRED BY AGENCIES THAT HAVE JURISDICTION OVER THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS, LETTERS OF CREDIT, OR CASH SURETIES RELATED TO THE WORK. EXECUTE AND INSPECT WORK IN ACCORDANCE WITH ALL LOCAL AND STATE CODES, RULES, ORDINANCES, OR REGULATIONS PERTAINING TO THE PARTICULAR TYPE OF WORK INVOLVED.

9. OBTAIN PERMITS FROM THE CITY FOR WORK IN THE PUBLIC RIGHT-OF-WAY. 20. CONSTRUCT SANITARY SEWER, WATERMAIN, AND STORM SEWER UTILITIES IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN

WISCONSIN, SIXTH EDITION, THE LATEST REVISED EDITION, OR LOCAL MUNICIPAL SPECIFICATIONS, THE MORE STRINGENT SHALL APPLY. 21. ALL PROPOSED ON SITE UTILITIES ARE PRIVATE AND WILL BE MAINTAINED ACCORDINGLY.

- 1. BRING ALL SITE UTILITIES TO 5' OUTSIDE OF THE BUILDING LINE WITH THE EXCEPTION OF THE WATER SERVICE. EXTEND WATER SERVICE INTO THE BUILDING AND UP TO THE FLANGE FOR THE WATER METER SEPARATION OF WATER AND SEWER: PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 8 FEET BETWEEN ALL WATER AND SANITARY SEWER LINES. PROVIDE A MINIMUM SEPARATION OF 18 INCHES AT ALL WATER LINE AND SANITARY SEWER LINE CROSSINGS.
- WATERMAIN DEPTH: MAINTAIN 6.0 FEET OF COVER OVER THE TOP OF THE WATER LINES TO THE FINISHED GRADE. VERIFY ELEVATION OF PROPOSED AND EXISTING WATER LINES AT ALL UTILITY CROSSINGS. INSTALL THE WATER LINES AT GREATER DEPTHS IN ORDER TO CLEAR STORM SEWERS, SANITARY SEWERS, OR OTHER UTILITIES AS REQUIRED. INCLUDE COSTS TO LOWER WATER LINES IN THE BASE BID.
- DISINFECTION: DISINFECT ALL COMPLETED WATERMAINS IN ACCORDANCE WITH AWWA STANDARD C651. IF THE TABLET OR CONTINUOUS FEED METHODS ARE USED, DISINFECT USING WITH WATER THAT CONTAINS AT LEAST 50 PPM OF AVAILABLE CHLORINE. RETAIN THE TREATED WATER IN THE PIPELINE FOR AT LEAST 24 HOURS. MEASURE THE CHLORINE RESIDUAL AT THE END OF THE 24 HOUR PERIOD. THE FREE CHLORINE RESIDUAL MUST BE AT LEAST 10 MG/L MEASURED AT ANY POINT IN THE LINE. MEASUREMENT OF THE CHLORINE CONCENTRATION AT REGULAR INTERVALS SHALL BE IN ACCORDANCE WITH STANDARD METHODS, AWWA M-12, OR USING APPROPRIATE CHLORINE TEST KITS.
- TESTING: PRESSURE TEST AND PERFORM BACTERIOLOGICAL TESTS ON ALL WATER LINES UNDER THE SUPERVISION OF THE CITY PUBLIC WORKS DEPARTMENT. NOTIFY THE CITY AT LEAST 24 WORKING HOURS PRIOR TO ANY TESTING. PRESSURIZE THE WATERLINE TO 1034-KPA (150-PSI) GAUGE PRESSURE (MEASURED AT THE POINT OF LOWEST ELEVATION) BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A SATISFACTORY MANNER. MAINTAIN THE TEST PRESSURE FOR A MINIMUM OF 2 HOURS. DO NOT ADD WATER TO THE WATERMAIN IN ORDER TO MAINTAIN THE REQUIRED PRESSURE DURING THE WATER MAIN PRESSURE TESTING. THE TEST SECTION OF PIPE IS ACCEPTABLE WITH A PRESSURE DROP OF 14 KPA (2 PSI) OR LESS.
- 6. USE MECHANICAL JOINT RESTRAINT DEVICES FOR JOINT RESTRAINT ON ALL WATERMAIN BENDS HAVING A VERTICAL OR HORIZONTAL DEFLECTION OF 22-1/2 DEGREES OR GREATER, ALL VALVES, STUBS, EXTENSIONS. TEES. CROSSES, PLUGS. ALL HYDRANT VALVES. AND ALL HYDRANTS IN ACCORDANCE WITH CITY REQUIREMENTS. USE "SERIES 1100 MEGALUG" MANUFACTURED BY EBAA IRON INC., EASTLAND, TEXAS, OR APPROVED EQUAL, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS FOR RESTRAINT ON DUCTILE IRON PIPE.
- AT ALL VALVE LOCATIONS WHICH REQUIRE A 12" OR SMALLER VALVE, INSTALL GATE VALVES WHICH ARE OF THE COMPRESSION RESILIENT SEATED (CRS) TYPE. USE AMERICAN FLOW CONTROL'S SERIES 2500 DUCTILE IRON RESILIENT WEDGE GATE VALVE, OR APPROVED EQUAL. GATE VALVES SHALL CONFORM TO AWWA C509. INSTALL CAST IRON VALVE BOXES CONFORMING TO ASTM A48 AT EACH VALVE LOCATION. VALVE BOXES SHALL BE THE THREE-PIECE TYPE WITH 5-1/4" SHAFTS. USE TYLER 6860-G WITH NO. 6 BASE, OR EQUIVALENT. VALVE BOXES SHALL HAVE AT LEAST 6" OF ADJUSTMENT ABOVE AND BELOW FINISHED GRADE. DROP COVERS ON VALVE BOXES SHALL BE ROUND AND BEAR THE WORD "WATER" CAST ON THE TOP. USE TYLER 6860-G "STAYPUT" COVERS WITH EXTENDED SKIRT, OR EQUIVALENT. 8. USE MUELLER H 10300 OR FORD EM 2 7057, OR APPROVED EQUAL, AT ALL CURB STOP LOCATIONS. STATIONARY ROD IS REQUIRED ON ALL CURB STOPS.
- 10. POLYVINYL CHLORIDE (PVC) WATERMAIN: USE AWWA C900 FOR ALL PVC WATERMAIN FURNISHED WITH INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS; MINIMUM PRESSURE CLASS 150; DIMENSION RATIO NOT GREATER THAN 18; LAYING LENGTH 20 FEET. USE EBAA IRON, INC., "SERIES 2000 PV MEGALUG," OR APPROVED EQUAL FOR RESTRAINT ON C900 PVC WATERMAIN. LAY TRACE WIRE WITH ALL C900 PVC
- 11. TRACER WIRE: LOCATING REQUIREMENTS A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH CODE SECTION SPS 382.30(11)(H).
- 12. TRENCH SECTION SHALL CONFORM TO SECTION 4.3.C, FILE NO. 38 OF THE STANDARD SPECIFICATIONS. SAND OR STONE CHIP BEDDING MATERIAL IS REQUIRED.

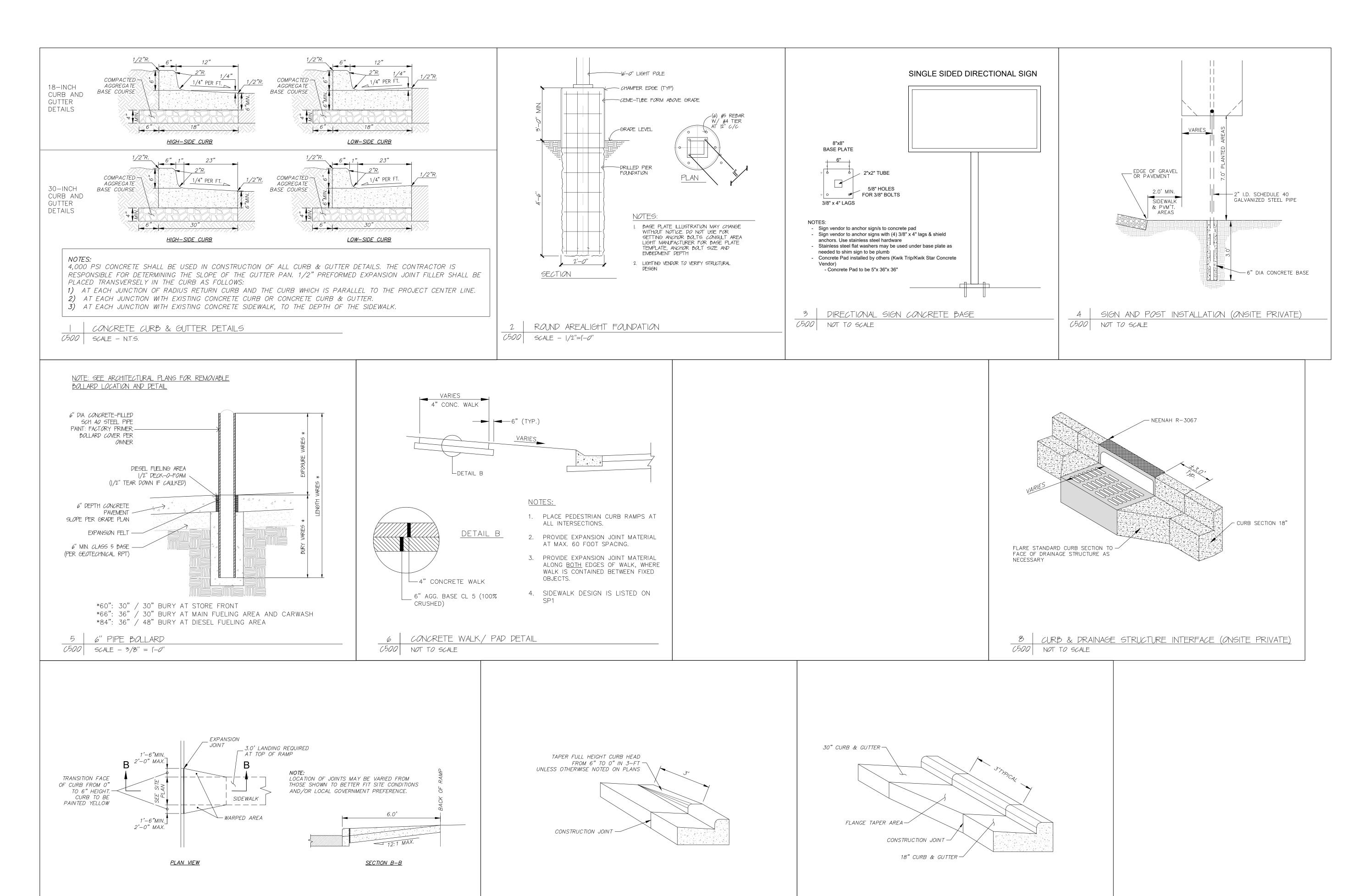
9. POLYVINYL CHLORIDE (PVC) BUILDING WATER SERVICES: ASTM D2241 OR ASTM D1785; PRESSURE RATED FOR WATER.



Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.



II FLANGE TAPER DETAIL 0500 NOT TO SCALE

10 CURB HEAD TAPER DETAIL
C500 NOT TO SCALE

9 FLARED END CURB RAMP (PRIVATE SITE)

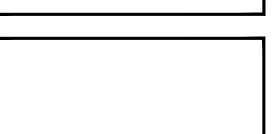
C500 NOT TO SCALE





KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



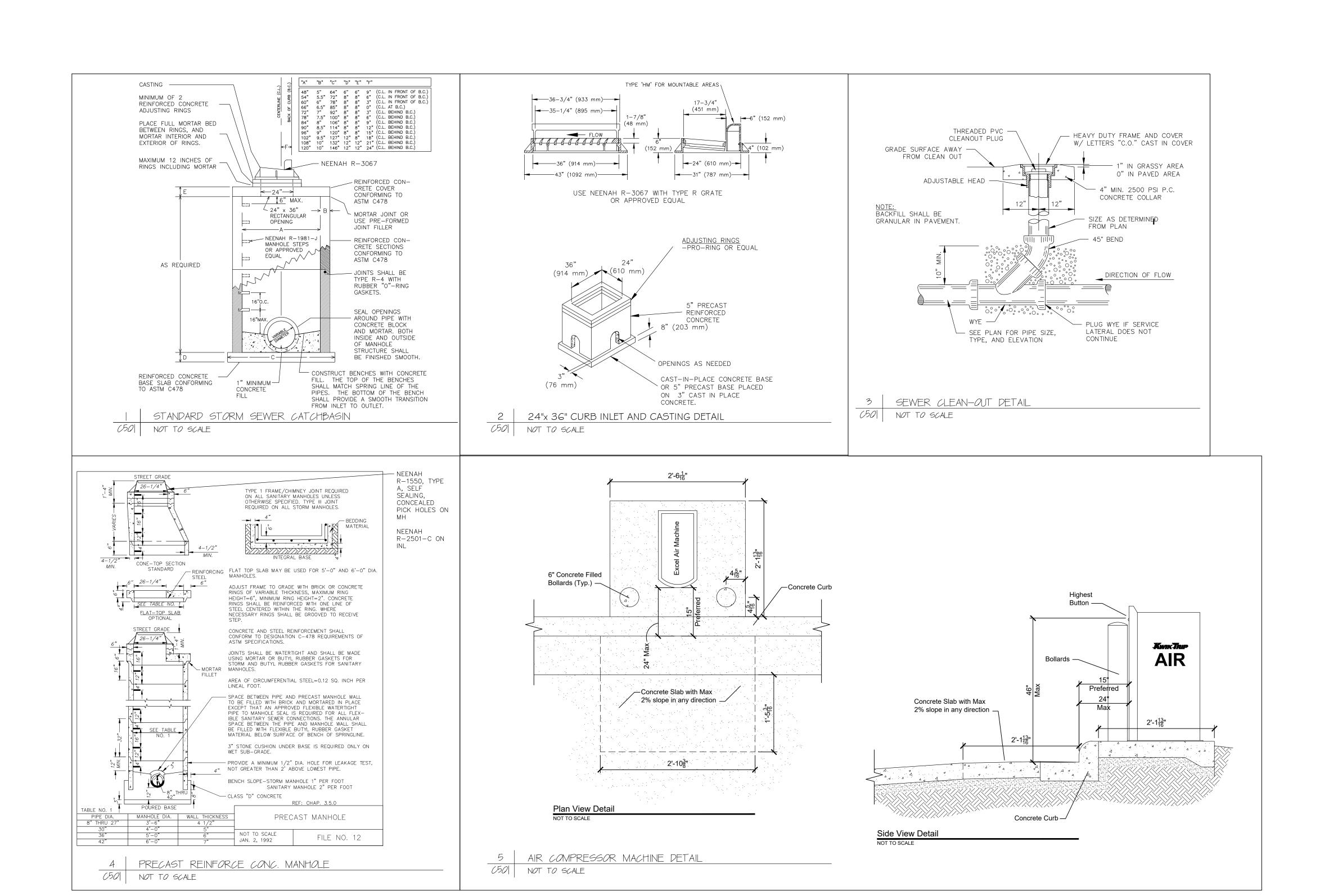


ORE #1750 N DIESEL ROAD M STORE 2-LN DIE . & COUNTY | CONVENIENCE (WITH 10 MPD &)

DETAILS

SHEET

S	\ \ \	王仙
# DATE	DESCRIPT	ION
DRAWN BY		MAC
SCALE		GRAPHIC
PROJ. NO.		3240196
DATE		02/18/2024
SHEET		C500







KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960

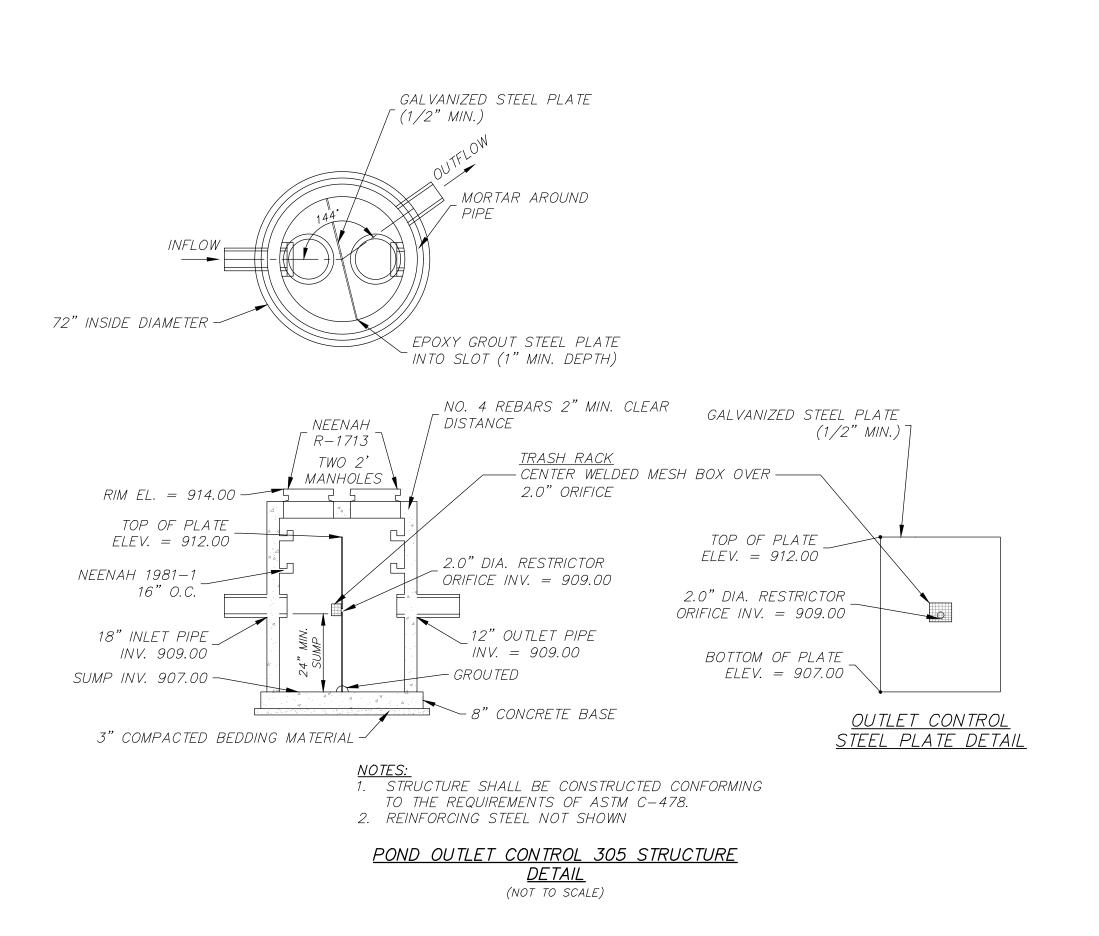


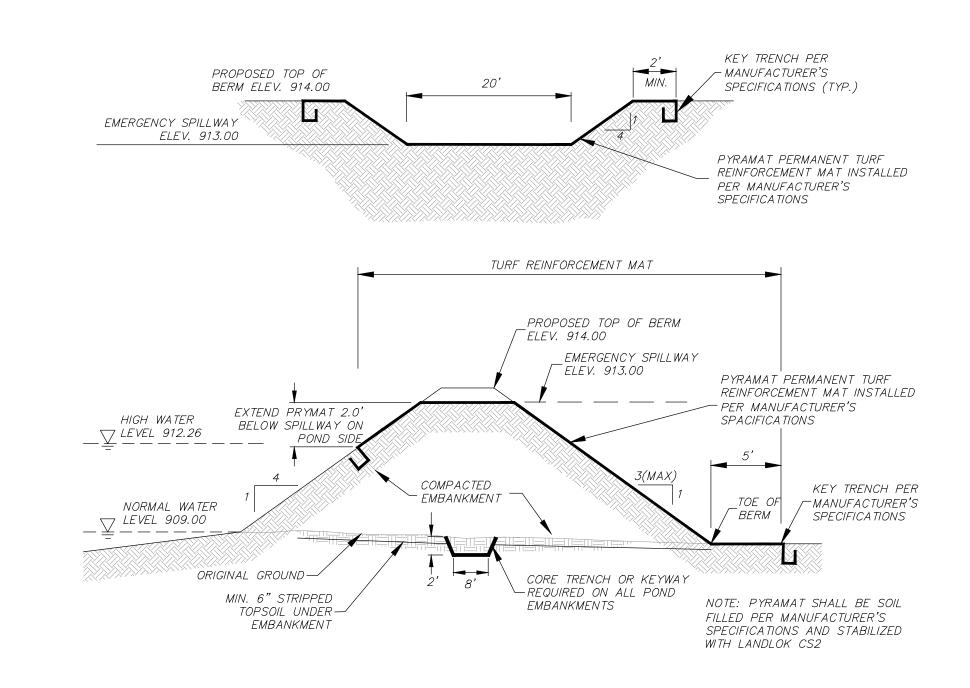
16745 W. Bluemound Road (262) 781-1000

STORE #1750 2-LN DIESEL ROAD & COUNTY, WI SS CONVENIENCE (WITH 10 MPD & (IGHWAY 14 (VANSVILLE,

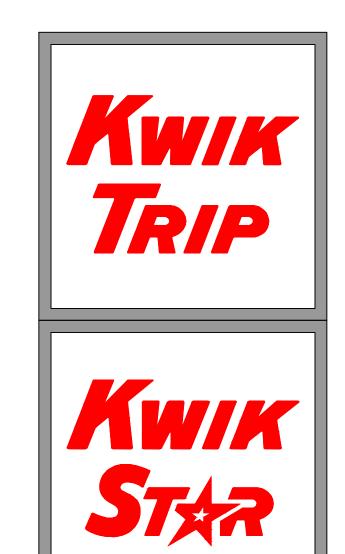
DETAILS

S	M C	王山
# DATE	DESCRIPTI	ON
		
DRAWN BY		MAC
SCALE		GRAPHIC
PROJ. NO.		3240196
DATE		02/18/2024
SHEET		C501





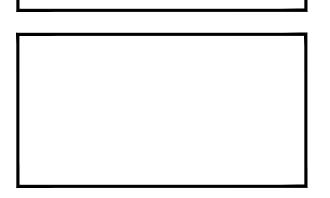
PROPOSED EMERGENCY SPILLWAY DETAIL



KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960

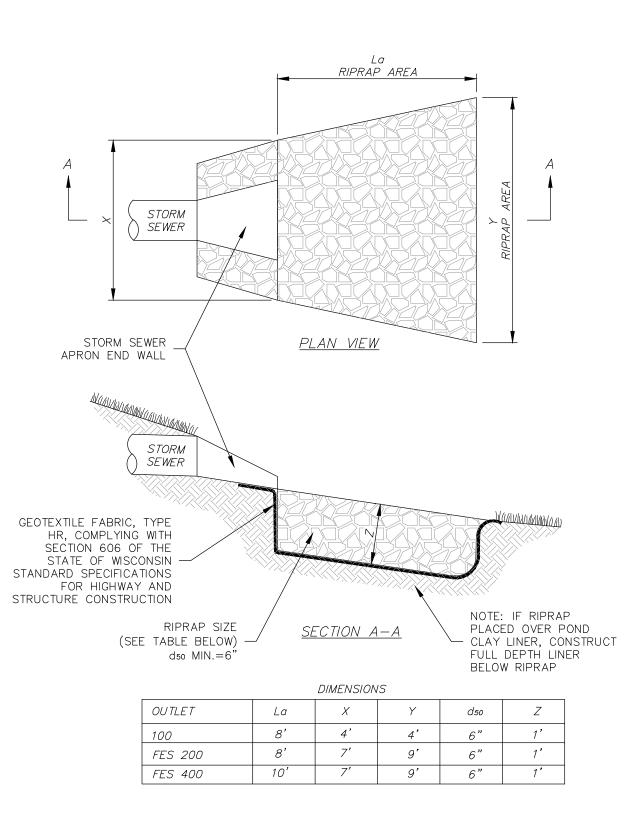


16745 W. Bluemound Road (262) 781-1000



ORE #1750 LN DIESEL ROAD & COUNT, WI /ENIENCI HIGHWAY 14 EVANSVILLE,

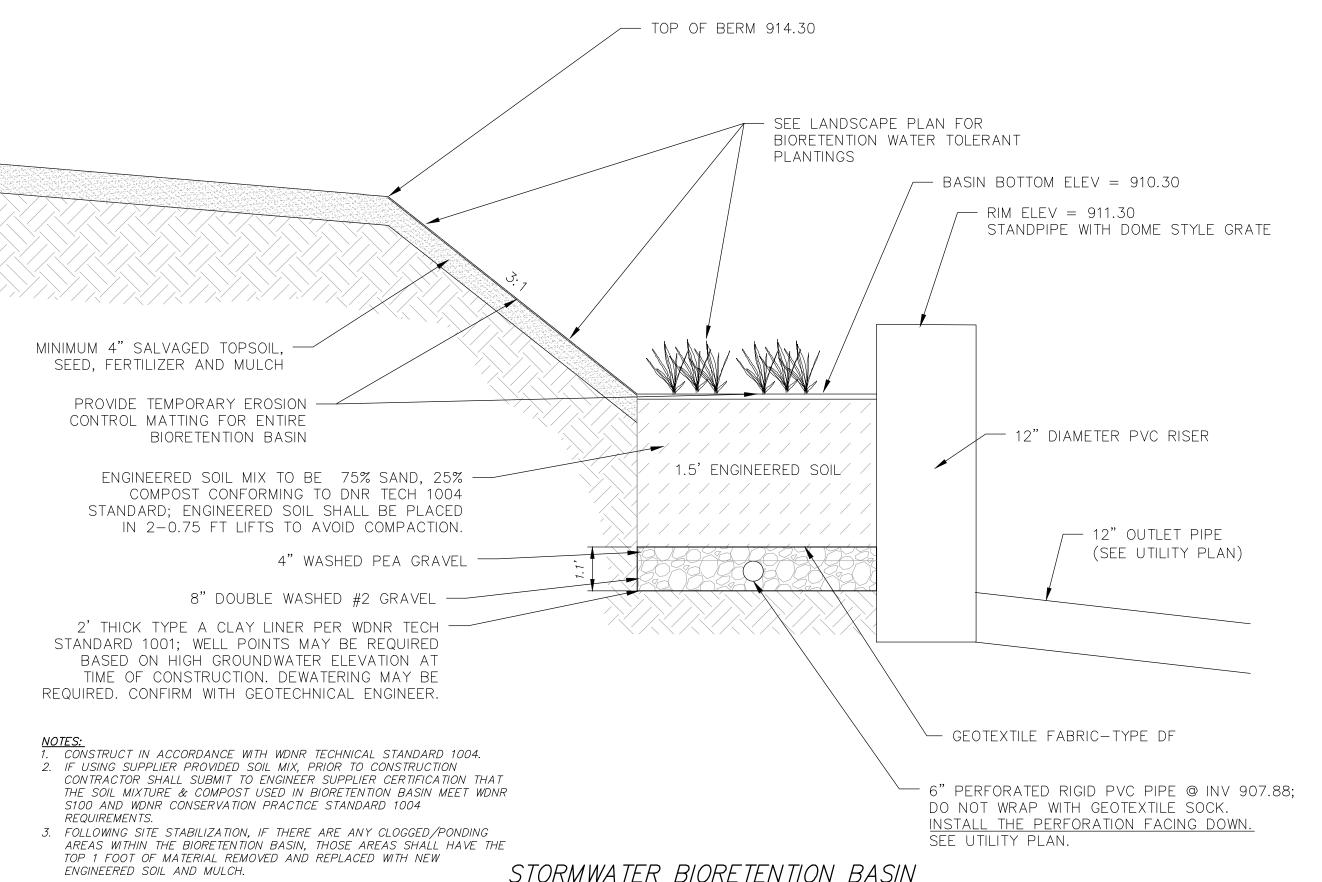
STORMW,	CONVEI WITH 10	HIGHWAY EVANSVIL
# DATE	DESCRIP	TION
DRAWN BY		MAC
SCALE		GRAPHIC
PROJ. NO.		3240196
DATE		02/18/2024
SHEET		C502



RIPRAP SHALL COMPLY WITH THE SECTION 606 OF THE STATE OF WISCONSIN STANDARD FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

PLAN VIEW CONTOURS AND GRADES REPRESENT PROPOSED TOP OF RIPRAP ELEVATIONS.

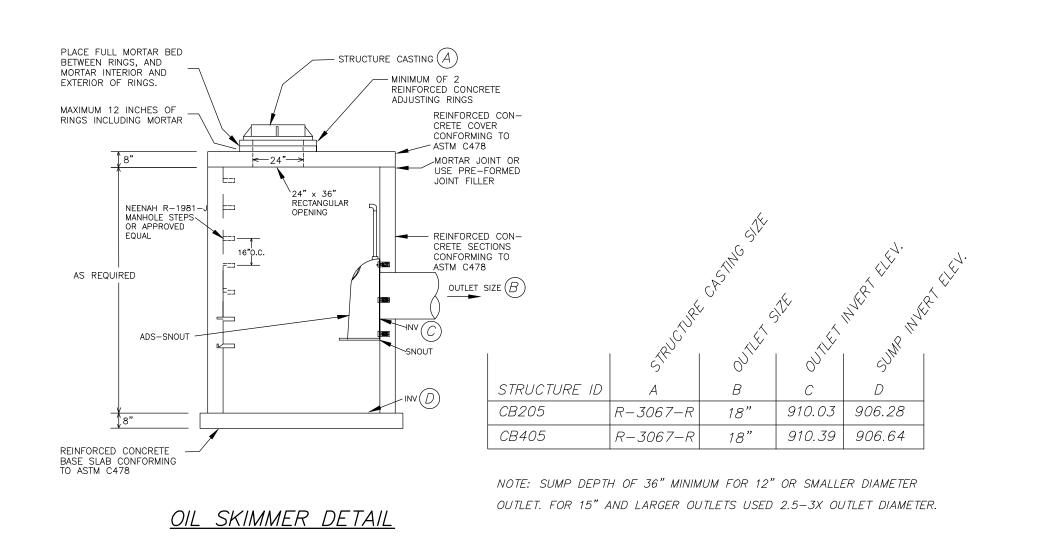
> RIPRAP DETAIL (NOT TO SCALE)



STORMWATER BIORETENTION BASIN

(NOT TO SCALE)

INSTALL BIORETENTION ENGINEERED SOIL MIX AND PLANTINGS ONCE UPLAND VEGETATION IS AT LEAST 85% ESTABLISHED TO PREVENT CLOGGING FROM CONSTRUCTION SEDIMENT







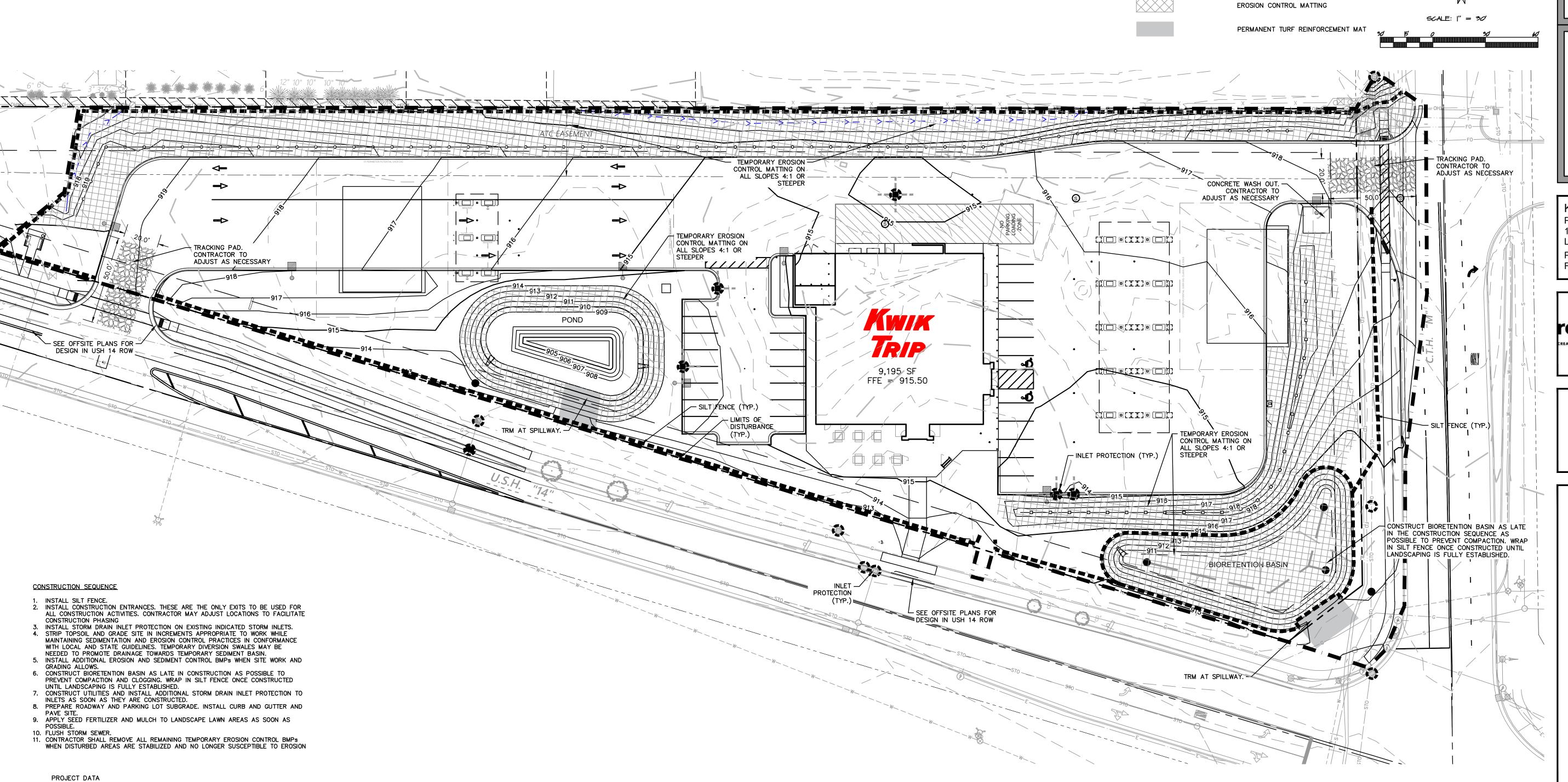
KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



16745 W. Bluemound Road (262) 781-1000

750 EL RESIDIESE ORE ENIENCI 10 MPD HIGHWAY 14 (EVANSVILLE,

STORMW	CONVEI WITH 10	HIGHWAY EVANSVIL
# DATE	DESCRIPT	TION
DRAWN BY		MAC
SCALE		GRAPHIC
PROJ. NO.		3240196
DATE		02/18/2024
SHEET		C503



PROJECT START DATE: SPRING 2025 PROJECT COMPLETION DATE: FALL 2025

OF 70% SOIL COVERAGE.

LOCAL MUNICIPALITY PRIOR TO ANY SITE WORK.

-ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE

-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END

-REFER TO THE SWPPP AND DETAIL SHEETS FOR MORE INFORMATION.

OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDED AREAS MUST EXHIBIT MINIMUM

TRIP

<u>LEGEND</u>

LIMITS OF DISTURBANCE = 3.73 ACRES (NOT INCLUDING USH 14 PLANS)

STORM DRAIN INLET PROTECTION

PROPOSED SILT FENCE

STONE TRACKING PAD



KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



16745 W. Bluemound Road

750 EL # W OR

ENIENCI 0 MPD **4** ⊞

EROSION

Know what's below.

Call before you dig.

CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT

THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR

DAMAGES, LIABILITY OR COSTS RESULTING FROM

	•
# DATE	DESCRIPTION
	_
	_
DRAWN BY	MAC
SCALE	GRAPHIC
PROJ. NO.	3240196
DATE	02/18/2024
SHEET	C600

GENERAL STORMWATER POLLUTION PREVENTION:

APPLY FOR AND OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION ACTIVITY.

STORMWATER POLLUTION PREVENTION PLAN (SWPPP): THE SWPPP INCLUDES THIS NARRATIVE, PLAN SHEETS SP1-SP4, SWP1-SWP5 AND THE CONTRACTOR SHALL UTILIZE COARSELY GROUND WOOD AND TREE MULCHES TO COVER EXPOSED SOILS. MULCHES STORMWATER MANAGEMENT CALCULATIONS. KEEP A COPY OF THE SWPPP, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS AT THE SITE DURING THE CONSTRUCTION. DURING THE CONSTRUCTION PROCESS THE SWPP WILL HAVE TO BE AMENDED FOR ALL CHANGES PERFORMED BY THE CONTRACTOR. THE OWNER SHALL BE AWARE OF THE AMENDMENTS PRIOR TO CHANGES MADE TO THE SWPP PLAN. ALL NOTES, PHOTOGRAPHS, RECORDED DATES, SKETCHES, REFERENCES, AND DIAGRAMS WILL HAVE TO BE RECORDED AND MADE AVAILABLE AS PART OF THE SWPP PERMIT.

INDIVIDUAL(S) PREPARING THE SWPPP FOR THE PROJECT, OVERSEEING IMPLEMENTATION OF THE SWPPP, REVISING AND AMENDING THE SWPPP, AND AT LEAST ONE INDIVIDUAL ON THE PROJECT PERFORMING INSTALLATION, INSPECTION, MAINTENANCE, AND REPAIRS OF BMP'S MUST BE TRAINED. THE TRAINING MUST BE DONE BY A LOCAL, STATE, FEDERAL AGENCIES; PROFESSIONAL ORGANIZATION; OR OTHER ENTITITES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, OR PERMANENT STORMWATER MANAGEMENT.

RESPONSIBLE PARTIES: THE CONTRACTOR MUST DESIGNATE A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPS WHO WILL OVERSEE THE IMPLEMENTATION OF THE SWPPP, AND THE INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPS BEFORE AND DURING CONSTRUCTION.

THE OWNER IS RESPONSIBLE FOR IDENTIFYING WHO WILL HAVE RESPONSIBILITY FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE SEDIMENT CONTROL: PERMANENT STORMWATER MANAGEMENT SYSTEMS.

OWNER CONTACT:

SETH WADDELL COMPANY: KWIK TRIP, INC. ADDRESS: 1626 OAK STREET LA CROSSE, WI 54602 TELEPHONE: (608) 793-4933

SITE INVESTIGATION, INSTALLATION, IMPLEMENTATION:

- 1. PRIOR TO ANY WORK, CONTRACTOR SHALL VISIT THE SITE, DOCUMENT EXISTING CONDITIONS AS NECESSARY(PHOTOS, NOTES, ETC) AND NOTE EXISTING DRAINAGE PATTERNS ON AND OFF SITE THAT ARE RELATED TO THE PROJECT. THESE NOTES SHALL BE PART OF THE
- 2. INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES INCLUDING SILT FENCE, ROCK CONSTRUCTION ENTRANCE(S), EROSION CONTROL BERMS, ROCK FILTERS, SILT SACKS, ROCK /EARTH BERMS, AND SEDIMENTATION BASINS. PROTECT ALL RECEIVING WATERS, CATCH BASINS, DITCHES, INLETS ETC. IN AND AROUND THE SITE. ALL PROTECTIVE AND PREVENTATIVE MEASURES MUST BE IN PLACE AND INSPECTED <u>PRIOR</u> TO BEGINNING SITE CLEARING, GRADING, OR OTHER LAND—DISTURBING ACTIVITY.
- 3. PRIOR TO BEGINNING SITE CLEARING AND GRADING, PROTECT ALL STORM SEWER INLETS THAT RECEIVE RUNOFF FROM DISTURBED AREAS. IN ORDER TO PREVENT SEDIMENT FROM LEAVING THE SITE AND ENTERING THE DOWNSTREAM STORM SEWER SYSTEM, SEAL ALL STORM SEWER INLETS THAT ARE NOT NEEDED FOR SITE DRAINAGE DURING CONSTRUCTION. PROTECT ALL OTHER STORM SEWER INLETS BY INSTALLING SEDIMENT CONTROL DEVICES, SUCH AS SILT SACKS, OR ROCKED FILTRATION LOGS/WIERS. STRAW BALES OR FABRIC UNDER THE GRATES ARE NOT ACCEPTABLE FORMS OF INLET PROTECTION. PROTECT NEW STORM SEWER INLETS AS THEY ARE COMPLETED. MAINTAIN STORM SEWER INLET PROTECTION IN PLACE UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLETS ARE STABILIZED.
- 4. BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE WHEN AT ALL POSSIBLE CONTRACTOR SHALL DESIGNATE ONLY ONE ACCESS POINT FOR VEHICLES ENTERING AND EXITING THE SITE. THE ROCK ON THE ENTRANCE WILL HAVE TO BE INSPECTED DAILY AND REPLACED OR ROCK SUPPLEMENTED BY THE CONTRACTOR WHEN OVER 50% OF THE VOIDS IN THE ROCK ARE FILLED. A CLEANING STATION SHOULD BE MADE AVAILABLE TO DRIVERS AND VISIBLY SIGNED AS SUCH. PROVIDE SHOVELS, BROOMS AND/OR HOSE WITH A WASH OUT AREA SO SOILS CAN BE REMOVED FROM VEHICLES ON SITE.
- 5. AVOID ENTIRE REMOVAL OF TREES AND SURFACE VEGETATION ALL AT ONCE WHENEVER POSSIBLE AS THIS LIMITS THE AMOUNT OF SITE SUSCEPTIBLE TO EROSION. SCHEDULE CONSTRUCTION ZONES AND NOTE THIS ON THE SWPP PLAN IN ORDER TO EXPOSE THE SMALLEST PRACTICAL AREA OF SOIL AT ANY GIVEN TIME. UTILIZE VEGETATION REMOVED BY ON SITE GRINDING AND MULCHING AND USING THIS MATERIAL TO PROTECT THE SOIL FROM EROSION.
- 6. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, COMPLETE PERMANENT OR TEMPORARY STABILIZATION AGAINST EROSION DUE TO TEMPORARY SEDIMENT BASINS RAIN, WIND, AND RUNNING WATER WITHIN 14 CALENDAR DAYS ON ALL DISTURBED OR GRADED AREAS. THIS REQUIREMENT DOES NOT TO THOSE AREAS THAT ARE CURRENTLY BEING USED FOR MATERIAL STORAGE ON A DAILY BASIS OR FOR THOSE AREAS ON WHICH GRADING, SITE BUILDING, OR OTHER CONSTRUCTION ACTIVITIES ARE ACTIVELY UNDERWAY. PROVIDE TEMPORARY COVER ON ALL STACKED TOPSOIL PILES, AND OTHER AREAS OF STOCKPILED EXCAVATED MATERIAL IN ORDER TO PREVENT SOIL EROSION AND RAPID RUNOFF DURING THE BASIN. BASINS SHALL BE INSPECTED AFTER EVERY RAINFALL EVENT, MATERIAL REMOVED AND STABILIZED. IF THE CONSTRUCTION PERIOD. STOCKPILES CAN BE MULCHED, COVERED WITH POLY OR FABRIC, AND OR SEEDED DURING PROLONGED EXPOSURE. PROLONGED PERIODS OF OPEN, BARE EARTH WITHOUT GRASS COVER WILL NOT BE PERMITTED. STABILIZE ALL DISTURBED GREENSPACE AREAS WITH A MINIMUM OF 4" TOPSOIL IMMEDIATELY AFTER FINAL SUBGRADE COMPLETION. SEED AND MULCH, OR SOD AND DEWATERING: PROTECT THESE AREAS WITHIN 48 HOURS AFTER COMPLETION OF FINAL GRADING WORK (WEATHER PERMITTING). STABILIZE ALL DISTURBED AREAS TO BE PAVED USING EARLY APPLICATION OF GRAVEL BASE. STABILIZE THE NORMAL WETTED PERIMETÉR OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH THAT CONVEYS WATER FROM THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE CONSTRUCTION SITE, WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR WITHIN 200 FEET FROM THE POINT OF DISCHARGE TO ANY SURFACE WATER. STABILIZE TEMPORARY OR PERMANENT DRAINAGE DITCHES WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER. PROTECT OUTFALLS MINIMUM OF 200FEET DOWN STREAM AND TO THE SIDE OF THE DISCHARGE POINT. ADDITIONAL SETTLING "POTS" ACHIEVED BY FILTER LOGS OR FILTERED STICK BALES STAKED IN THE CHANNEL WILL DISSIPATE THE WATER ENERGY. PROVIDE PIPE OUTLETS WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS OF CONNECTION TO A SURFACE WATER.
- 7. RECEIVING WATERS IT IS THE CONTRACTORS RESPONSIBILITY TO INSPECT THE SITE DISCHARGE POINT AS WELL AS DOWNSTREAM TO THE RECEIVING BODY OF WATER(POND, LAKE, STREAM, ETC.) ON A REGULAR BASIS INCLUDING AFTER EACH STORM EVENT AND DOCUMENT IF ANY DIFFERENCES OR CHANGES IN NORMAL IN DISCHARGE AND IF MATERIAL IS LEAVING THE CONSTRUCTION SITE. IF SO IT SHALL BE DOCUMENTED AND REMOVED IMMEDIATELY.

NOTE: ALL EROSION AND SEDIMENT CONTROL DEVICES WILL BE CHECKED BY THE CONTRACTOR AFTER EACH STORM EVENT AND BE MAINTAINED, OR IMPROVED UPON AFTER EVERY STORM EVENT TO ENSURE ADEQUATE PERFORMANCE.

POLLUTION CONTROL:

1. DESIGNATE A CONCRETE WASH-OUT AND TRUCK WASH AREA: MAKE IT VISIBLE IN THE FIELD TO VEHICLE OPERATORS AND NOTE THIS ON THE SWPP PLAN.

A. WHEN WASHOUTS OCCUR ON THE SITE, CONCRETE WASHOUT WATER MUST BE CONTAINED IN A LEAK—PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. LIQUID AND SOLID WASTES MAY NOT TOUCH THE GROUND AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS.

B. ON SITES WHERE CONCRETE WASHOUT AREAS ARE NOT FEASIBLE AS SHOWN ON THE DETAIL SHEET, ABOVE GROUND METHODS AND/OR OFF-SITE METHODS CAN BE UTILIZED AS APPROVED BY OWNER.

C. CONCRETE WASHOUT MAY BE PROVIDED OFF—SITE BY CONCRETE CONTRACTOR OR CONCRETE SUPPLIER, AT AN APPROVED WASHOUT DISPOSAL AREA. CONCRETE SUPPLIER MAY PROVIDE CONCRETE WASHOUT AREAS ON-BOARD THEIR TRANSPORTS FOR DISPOSAL OFF-SITE. CONCRETE CONTRACTOR SHALL VERIFY WITH SUPPLIER IN REGARDS TO PROVIDED CONCRETE WASHOUT AREAS ON AND OFF—SITE, AS NECESSARY.

D. LIMIT EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES TO A DEFINED AREA PREFERABLY BEFORE THE CONSTRUCTION ACCESS/EXIT POINT. WASH VEHICLES ONLY ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. CONTAIN RUNOFF AND PROPERLY DISPOSE OF WASTE. ENGINE DEGREASING IS PROHIBITED.

- 2. SOLID WASTE: PROPERLY DISPOSE OF COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS, AND OTHER WASTES IN COMPLIANCE WITH STATE REQUIREMENTS.
- 3. <u>HAZARDOUS MATERIALS</u>: PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE DEBRIS, CLEANING WASTES, OIL, GASOLINE, PAINT, WASTEWATER, TOXIC MATERIALS, AND HAZARDOUS MATERIALS) OFF—SITE. DO NOT ALLOW WASTE AND UNUSED BUILDING MATERIALS TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM. PROPERLY STORE OIL, GASOLINE, PAINT, AND OTHER HAZARDOUS MATERIALS IN ORDER TO PREVENT SPILLS, LEAKS, OR OTHER DISCHARGE. INCLUDE SECONDARY CONTAINMENT. RESTRICT ACCESS TO STORAGE AREAS IN ORDER TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS MATERIALS MUST BE IN COMPLIANCE WITH REGULATIONS.
- 4. MACHINERY: AND MECHANICALIZED EQUIPMENT THAT LEAKS WASTE SHALL HAVE A PROTECTIVE BARRIER OR CONTAINMENT UNDER THE DEVICE ADEQUATE TO CONTAIN THE WASTE. PROPERLY DISPOSE OF THE WASTE.
- 5. EMERGENCY SPILL STATION: CONTRACTOR SHALL LOCATE AND SIGN AN EMERGENCY SPILL STATION THAT HAS NECESSARY CONTAINMENT OR CLEANUP DEVICES FOR ALL WORKERS TO ACCESS.

EROSION CONTROL:

APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.

SHALL BE SPORED ON SITE TO SUPPLEMENT AND USE IN PROBLEM AREAS DURING ALL PHASES OF THE CONSTRUCTION PROJECT.

CONTRACTOR SHALL USES STAR TACK OR OTHER ORGANIC SUBSTANCES IN SITUATIONS TO PREVENT SOIL FROM ERODING AWAY BY WIND OR RAIN.

WHENEVER POSSIBLE CONTRACTOR SHALL GRADE AREAS OF SOIL TO LIMIT POTENTIAL OF EROSION, TO INCLUDE TRACKING PERPENDICULAR TO FALL LINE OF GRADES AS WELL AS DIVERTING WATER FLOWS FROM PROBLEMATIC AREAS ON THE SITE.

SEEDING, FIBER BLANKETS, POLY/TARPS OR COVER MULCHES, DISKED MULCHES AND COMPOST CAN BE USED TO COVER TEMPORARILY EXPOSED AREAS FROM WIND AND RAIN. OTHER METHODS BY THE CONTRACTOR SHALL BE DOCUMENTED IN THE SWPP.

INLET SEDIMENT CONTROL PROTECTION DEVICES: THE FOLLOWING ARE APPROVED INLET SEDIMENT CONTROL DEVICES:

A. ROAD DRAIN TOP SLAB MODEL RD 23 (FITS ROUGH OPENING FOR 2'X3' INLET), ROAD DRAIN TOP SLAB MODEL RD 27 (FITS ROUGH OPENING FOR 27" INLET), OR ROAD DRAIN TOP SLAB MODEL CG 3067 (FITS NEENAH CASTING WITH 35-1/4"X17-3/4" DIMENSIONS) MANUFACTURED BY WIMCO, 799 THEIS DRIVE, SHAKOPEE, MN, 55379, PHONE (952) 233-3055. OR APPROVED EQUAL

B. SILT SACK MANUFACTURED BY ACF ENVIRONMENTAL, 2831 CARDWELL ROAD, RICHMOND, VA, 23234, PHONE (800) 448-3636. OR APPROVED EQUAL

C. INFRASAFE SEDIMENT CONTROL BARRIER. INSTALL GEOTEXTILE SOCK ON THE OUTSIDE OF THE BARRIER IN ORDER TO TRAP ADDITIONAL FINES. STANDARD FRAMES ARE AVAILABLE TO FIT 24" TO 30" DIAMETER AND 2'X3' OPENINGS. DISTRIBUTED BY ROYAL ENTERPRISES AMERICA, 30622 FOREST BOULEVARD, STACY, MN, 55079, PHONE (651) 462-2130. OR APPROVED EQUAL

D. RIDGE BAG ROCK LOG. USE ROCK LOGS ONLY FOR CURB INLETS AFTER PAVEMENT IS IN PLACE. MANUFACTURED BY RED BARN RIDGE, 3135 COUNTY ROAD 136, SAINT CLOUD, MN, 35301, PHONE (320) 253-3744. OR APPROVED EQUAL

E. INFLATABLE DRAIN PLUGS BY INTERSTATE PRODUCTS WWW.INTERSTATEPRODUCTS.COM OR APPROVED EQUAL

PLACE A 450 MM (18 INCH) THICK LAYER OF RIPRAP ONTO A 225 MM (9 INCH) THICK LAYER OF GRANULAR FILTER MATERIAL AT LOCATIONS INDICATED ON THE PLAN IN ACCORDANCE WITH WIDOT SPECIFICATION 606. INSTALL TWO LAYERS OF MEDIUM DUTY GEOTEXTILE FABRIC (WIDOT HR, SECTION 645.3.7) BENEATH THE GRANULAR FILTER MATERIAL. AT PIPE OUTFALLS CONFIGURE THE INSTALLATION AS SHOWN ON DETAIL SHEET FOR THE SIZE OF PIPE INDICATED AND EXTEND THE GEOTEXTILE FABRIC UNDER THE CULVERT APRON A MINIMUM OF 3 FEET. FOR PIPE SIZES SMALLER THAN 300 MM (12 INCH) DIAMETER, THE MINIMUM QUANTITY OF RIPRAP AND FILTER BLANKET SHALL BE NO LESS THAN THAT REQUIRED FOR 300 MM (12 INCH) DIAMETER PIPES.

INSTALL AND MAINTAIN PER WIDNR CONSERVATION PRACTICE STANDARD 1056.

TRACKING PAD / CONSTRUCTION ENTRANCE:

INSTALL AND MAINTAIN PER WIDNR CONSERVATION PRACTICE STANDARD 1057. USE BROCK WHITE FODS TRACKOUT CONTROL MAT OR EQUAL PRODUCT. INSTALL AND MAINTAIN PER THE MANUFACTURER'S RECOMMENDATIONS AS TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED ROADWAYS. CLOSE ENTRANCES NOT PROTECTED BY TEMPORARY ROCK CONSTRUCTION ENTRANCES TO ALL CONSTRUCTION TRAFFIC.

IN THE CONSTRUCTION PROCESS OR IF NOTED ON THE PLAN THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASIN(S). AS PER GENERAL RULE THE SEDIMENT BASIN SHALL BE SIZED APPROPRIATELY TO A CAPACITY RELEGATED TO THE DRAINAGE AREA ON A RATIO OF 3,600 CUBIC FEET PER ACRE OF DRAINAGE ZONE ENTERING CHANGES TO THE BASIN ARE MADE, DOCUMENT AND AMEND THE SWPP PLAN.

IF DEWATERING IS REQUIRED AND SUMP PUMPS ARE USED, ALL PUMPED WATER MUST BE DISCHARGED THROUGH AN EROSION CONTROL FACILITY (TEMPORARY SEDIMENTATION BASIN, GRIT CHAMBER, SAND FILTER, UPFLOW CHAMBER, HYDRO-CYCLONE, SWIRL CONCENTRATOR, DEWATERING BAG OR OTHER APPROPRIATE FACILITY) PRIOR TO LEAVING THE CONSTRUCTION SITE. PROPER ENERGY DISSIPATION MUST BE PROVIDED AT THE OUTLET OF THE PUMP SYSTEM. DISCHARGE CLEAR WATER ONLY. TO ACHIEVE BETTER SEPARATION OF THE MATERIAL SUSPENDED IN THE WATER A BIODEGRADABLE NOT TOXIC FLOCCULENT AGENT MAY BE REQUIRED. FOR MORE INFORMATION AND MATERIALS GO TO BY INTERSTATE PRODUCTS WWW.INTERSTATEPRODUCTS.COM

GEOTEXTILE DEWATERING BAGS SHALL MEET REQUIREMENTS OF DNR TECHNICAL STANDARD 1061. THE FOOTPRINT OF GEOTEXTILE BAGS SHALL BE NO SMALLER THAN 100 SQUARE FEET, AND SHALL BE SECURELY ATTACHED TO THE DISCHARGE PIPE. POLYMERS CAN BE USED TO ENHANCE THE EFFICIENCY OF GEOTEXTILE BAGS. IF USED, POLYMERS SHALL MEET THE CRITERIA WITHIN DNR TECHNICAL STANDARD 1051.

Table 1 – Prescriptive Compliance Area Soil Stabilization

Prescriptive Compliance Areas	Bare Soil	Slope & Channel Management	Periods of Inactivity	Final Grade
Soil stockpiles that will exist for more than 7 days Utility trench backfills Temporary ditches/swales that will exist for more than 7 days Permanent ditches/swales Small areas – Less than 1 acre and less than 1% of site Discrete areas – Less than 1 acre Storm water practice side slopes Slopes steeper than 20%	Areas that Do Not Drain to Sediment Basins or Traps Limit the duration of soil exposure to no more than 30 days. Areas that Drain to Sediment Basins or Traps Limit the duration of soil exposure to no more than 90 days. However, use the duration from the soil loss and sediment discharge calculations for the other areas of the site if less than 90 days.	General Design and implement approved soil stabilization practices per DNR technical standards. Refer to WisDOT Slope & Channel Matrices for appropriate slope and slope length conditions. Slopes Steeper than 20% Provide stable diversion of off-site runoff around the slope. Provide slope interruption devices in accordance with Manufactured Perimeter Control & Slope Interruption Products Technical Standard 1071 or equivalent methods to reduce uninterrupted slope length.	Planned Inactivity Stabilize immediately if area will be left inactive for more than 14 days. Unplanned Inactivity Stabilize area immediately if period of inactivity reaches 14 days.	Permanent Features Stabilize area immediately after reaching final grade. Temporary Features Stabilize area immediately after establishment of temporary feature or reaching specified temporary grade.

INSPECTIONS - MAINTENANCE - DAILY RECORD - AMEND THE SWPP PLAN

- 1. CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES, STABILIZED AREAS, AND INFILTRATION AREAS ON A <u>DAILY BASIS</u> UNTIL LAND-DISTURBING ACTIVITY HAS CEASED. THEREAFTER, INSPECT AT LEAST ON A WEEKLY BASIS UNTIL VEGETATIVE COVER IS ESTABLISHED. INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES, STABILIZED AREAS, AND INFILTRATION AREAS WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. REMOVE ACCUMULATED SEDIMENT DEPOSITS FROM BEHIND EROSION AND SEDIMENT CONTROL DEVICES AS NEEDED. DO NOT ALLOW SEDIMENT TO ACCUMULATE TO A DEPTH OF MORE THAN ONE-THIRD OF THE HEIGHT OF THE EROSION AND SEDIMENT CONTROL DEVICES. IMMEDIATELY REPLACE DETERIORATED, DAMAGED, ROTTED, OR MISSING EROSION CONTROL DEVICES. DOCUMENT INSPECTIONS AND DATES OF RAINFALL EVENTS. MAINTAIN A WRITTEN LOG OF ALL INSPECTION, MAINTENANCE, AND REPAIR ACTIVITIES RELATED TO EROSION AND SEDIMENT CONTROL FACILITIES. ALL NONFUNCTIONAL BMPS MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMPS WITHIN 24 HOURS AFTER DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- 2. ALL INSPECTIONS AND MAINTENANCE ACTIVITIES MUST BE RECORDED IN WRITING DAILY IN A DETAILED RECORD(NOTES, PHOTOGRAPHS, SKETCHES, ETC, AND KEPT WITH THE SWPPP BY THE CONTRACTOR.
- 3. CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO ADJACENT PROPERTY, PAVEMENT AREAS, SIDEWALKS, STREETS, AND ALLEYS. REMOVAL SHALL BE ON A <u>DAILY BASIS</u> THROUGHOUT THE DURATION OF THE CONSTRUCTION AND/OR AS DIRECTED BY THE CITY. CLEAN PAVED ROADWAYS BY SHOVELING OR WET-SWEEPING. DO NOT DRY SWEEP. IF NECESSARY, SCRAPE PAVED SURFACES IN ORDER TO LOOSEN COMPACTED SEDIMENT MATERIAL PRIOR TO SWEEPING. HAUL SEDIMENT MATERIAL TO A SUITABLE DISPOSAL AREA. STREET WASHING IS ALLOWED ONLY AFTER SEDIMENT HAS BEEN REMOVED BY SHOVELING OR SWEEPING.
- 4. ALL SOIL HAULED FROM THE SITE SHALL BE ACCOUNTED FOR AND DOCUMENTED IN THE SWPP BY THE CONTRACTOR. ITS FINAL DESTINATION AND HOW THE SOIL HAS BEEN STORED AND STABILIZED.
- 5. CONTRACTOR SHALL MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED (HARD-SURFACED AREAS PAVED AND VEGETATION ESTABLISHED IN GREEN SPACE). REPAIR ANY RILLING, GULLY FORMATION, OR WASHOUTS. AFTER FINAL ESTABLISHMENT OF PERMANENT STABILIZATION, REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, AND NONBIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AND ANY ACCUMULATED SEDIMENTS. DISPOSE-OF OFF SITE. RESTORE PERMANENT SEDIMENTATION BASINS TO THEIR DESIGN CONDITION IMMEDIATELY FOLLOWING STABILIZATION OF THE SITE.
- CONTRACTOR SHALL CLEAN SEDIMENTATION BASINS, STORM SEWER CATCH BASINS, DITCHES, AND OTHER DRAINAGE FACILITIES AS REQUIRED IN ORDER TO MAINTAIN THEIR EFFECTIVENESS. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 OF THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- CONTRACTOR SHALL INSPECT INFILTRATION AREAS TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS ACCUMULATING. REMOVE SEDIMENT IMMEDIATELY ENSURING SUBSOILS ARE NOT COMPACTED BY MACHINERY.
- EVERY VEHICLE SHALL NOT TRACK MATERIAL OFF-SITE. CLEAN THE WHEELS OF CONSTRUCTION VEHICLES IN ORDER TO REMOVE SOILS BEFORE THE VEHICLES LEAVE THE CONSTRUCTION SITE. WASH VEHICLES ONLY ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 9. CONTRACTOR SHALL REINFORCE EROSION CONTROL FACILITIES IN AREAS WHERE CONCENTRATED FLOWS OCCUR (SUCH AS SWALES, DITCHES, AND AREAS IN FRONT OF CULVERTS AND CATCH BASINS) BY BACKING THEM WITH SNOW FENCE, WIRE MESH, OR STIFF PLASTIC MESH REINFORCEMENT UNTIL PAVING AND TURF ESTABLISHMENT OPERATIONS HAVE BEEN COMPLETED. POSTS FOR THE REINFORCING FENCE SHALL BE 100 MM (4 INCH) DIAMETER WOOD POSTS, OR STANDARD STEEL FENCE POSTS WEIGHING NOT LESS THAN 0.59 KG (1.3 LBS) PER LINEAL FOOT, WITH A MINIMUM LENGTH OF 762 MM (30 INCHES) PLUS BURIAL DEPTH. SPACE POSTS FOR THE REINFORCING FENCE AT INTERVALS OF 3 M (10 FEET) OR LESS. DRIVE POSTS FOR THE REINFORCING FENCE AT LEAST 0.6 M (2 FEET) INTO THE GROUND.

GENERAL SOIL STABILIZATION: (SEE LANDSCAPE PLAN FOR MORE INFORMATION)

ESTABLISHMENT OF LAWN, PRAIRIE/WILDFLOWER AND/OR PLANT BED AREAS WILL BE NOTED ON THE LANDSCAPE PLAN

TO ENSURE STABILIZATION OF SOILS, RESTAKING OF SOD WHERE APPLICABLE, PROPER WATERING AND MULCH MAINTENANCE WILL BE REQUIRED. INSPECT SEEDED OR SODDED AREAS ON A TIMELY DAY-TO-DAY BASIS. IN THE EVENT OF A SEEDING FAILURE, RESEED AND REMULCH THE AREAS WHERE THE ORIGINAL SEED HAS FAILED TO GROW AND PERFORM ADDITIONAL WATERING AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER. SPECIAL MAINTENANCE PROVISIONS FOR WILD AND PRAIRIE GRASS SEEDED AREAS AS NOTED IN THE LANDSCAPE PLAN. PROMPTLY REPLACE ALL SOD THAT DRIES OUT TO THE POINT WHERE IT IS PRESUMED DEAD AND ALL SOD THAT HAS BEEN DAMAGED, DISPLACED, WEAKENED, OR HEAVILY INFESTED WITH WEEDS AT NO ADDITIONAL COST TO THE OWNER.

IN AREAS TO BE TEMPORARILY SEEDED, USE INTRODUCED SEED MIXTURE EQUIVALENT TO WIDOT #10 OR #20. APPLY SEED MIXTURE PER WIDOT 630.3.3.5. INCORPORATE A FERTILIZER (SLOW RELEASE TYPE WITH 10 WEEK RESIDUAL) CONSISTING OF 23-0-30 (%N-P-K) INTO THE SOIL AT AN APPLICATION RATE OF 224 KG PER HECTARE (200 LBS PER ACRE) BY DISKING PRIOR TO SEEDING. IN PROBLEMATIC AREAS IT MAY BE NECESSARY TO USE A LOW PHOSPHORUS ORGANIC FERTILIZER IN CASES WHERE SEEDS MAY NOT GERMINATE. IF THIS IS THE CASE, SEED AND FERTILIZER SHALL BE DISKED INTO THE SURFACE AND MULCHED PROPERLY TO ENSURE GERMINATION AND UPTAKE OF THE PHOSPHORUS BY THE SEED.

TO ENSURE ADEQUATE GERMINATION OF THE SEED THE WORK WILL BE PERFORMED AS FOLLOWS: SPRING- FROM APRIL 1 THROUGH MAY 15. FALL- FROM AUGUST 15 TO SEPTEMBER 20.

AFTER SEPTEMBER 20, WAIT UNTIL OCTOBER 30 TO PERFORM DORMANT SEEDING. DORMANT SEEDING WILL ONLY BE ALLOWED IF THE MAXIMUM SOIL TEMPERATURE AT A DEPTH OF 25 MM (1 INCH) DOES NOT EXCEED 4.44 DEGREES C (40 DEGREES F) IN ORDER TO PREVENT GERMINATION.

IN SEEDED AREAS WITH SLOPES STEEPER THAN 3:1 AND LENGTHS LESS THAN 15 METERS (50 FEET), INSTALL BIODEGRADABLE EROSION CONTROL BLANKETS UNIFORMLY OVER THE SOIL SURFACE BY HAND WITHIN 24 HOURS AFTER SEEDING IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. USE WIDOT URBAN TYPE B OR OWNER APPROVED EQUAL.

IN AREAS WHERE IRRIGATION IS TO BE INSTALLED, CONTRACTOR SHALL WORK IN ZONES TO FINISH GRADE AND INSTALL THE SYSTEM IN ZONES. NOTE- EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SOILS HAVE BEEN STABILIZED WITH SOD OR SEEDED AREAS THAT EXHIBIT MINIMUM OF 70% LAWN VEGETATIVE COVERAGE. IF SILT FENCE HAS TO BE REMOVED TO INSTALL THE IRRIGATION SYSTEM, IT SHALL BE REINSTALLED AT THE END OF EACH WORK DAY OR USE BIO ROLLS TO PROVIDE PROTECTION DURING THE INSTALLATION PROCESS UNTIL LAWN AREAS HAVE SOD AND/OR PLANT BEDS ARE MULCHED.

IN AREAS TO BE SODDED, SILT FENCE CAN BE REMOVED SHORT TERM FOR WORKING, BUT EXPOSED SOIL AREAS SHALL BE SODDED OR EROSION CONTROL MEASURES SHALL BE REINSTALLED AT THE END OF EACH WORK DAY.

NOTE: THE PROJECT'S LANDSCAPE PLAN IS PART OF THE SWPP FOR SOIL STABILIZATION. REFERENCES SHALL BE MADE TO THE APPROVED LANDSCAPE PLAN. AMENDMENTS TO THE LANDSCAPE PLAN SHALL BE APPROVED BY THE OWNER AND DOCUMENTED AS PART OF THE SWPP



KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



50 # **Ú** $\overline{\mathsf{O}}$

0

0

C

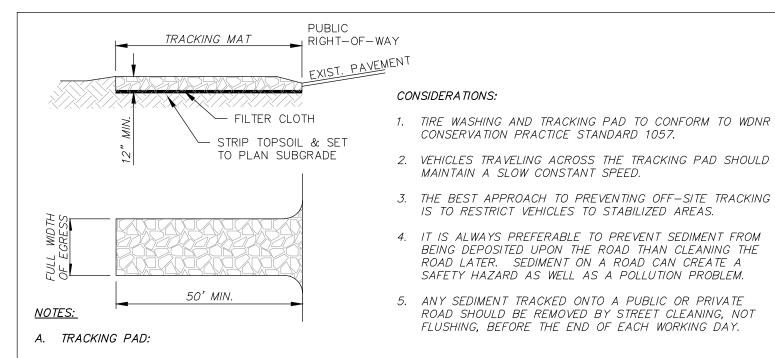
SION

ENIENCI 0 MPD 0 4 Щ HIGHWAY EVANSVILI SONV

ш	1		т ш
<u>#</u> DAT	E	DESCRIPT	ION
DRAWN B	Y		MAC
SCALE			GRAPHIC
PROJ. NO.			3240196
DATE			02/18/2024
SHEET			C601

ALL EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED PER WDNR STANDARDS

http://dnr.wi.gov/org/water/wm/nps/stormwater/techstds.htm



- 1. THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
- 2. THE AGGREGATE FOR THE TRACKING PAD SHALL BE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE MEETING THE GRADATION OF TABLE 1 OF THE WISCONSIN DNR TECHNICAL STANDARD 1057. WHERE THIS GRADATION IS NOT AVAILABLE, MEET THE GRADATION IN WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) 2018 STANDARD SPECIFICATION, SECTION 312, SELECT CRUSHED MATERIAL.
- 3. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL
- 4. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM OF 50 FEET LONG.
- 5. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY FROM TRACKING PADS OR CONVEYED UNDER AND AROUND THEM BY USING A VARIETY OF PRACTICES, SUCH AS CULVERTS, WATER BARS, OR OTHER SIMILAR PRACTICES.

B. TIRE WASHING:

IF CONDITIONS ON THE SITE ARE SUCH THAT THE SEDIMENT IS NOT REMOVED FROM VEHICLE TIRES BY THE TRACKING PAD, THEN TIRES SHALL BE WASHED UTILIZING PRESSURIZED WATER BEFORE ENTERING A PUBLIC ROAD.

- 1. THE WASHING STATION SHALL BE LOCATED ON-SITE ON AN AREA THAT IS STABILIZED AND DRAINS INTO A SUITABLE SEDIMENT TRAPPING OR SETTLING DEVICE.
- 2. THE WASH RACK SHALL CONSIST OF A HEAVY GRATING OVER A LOWERED AREA. THE RACK SHALL BE STRONG ENOUGH TO SUPPORT THE VEHICLES THAT WILL CROSS IT.

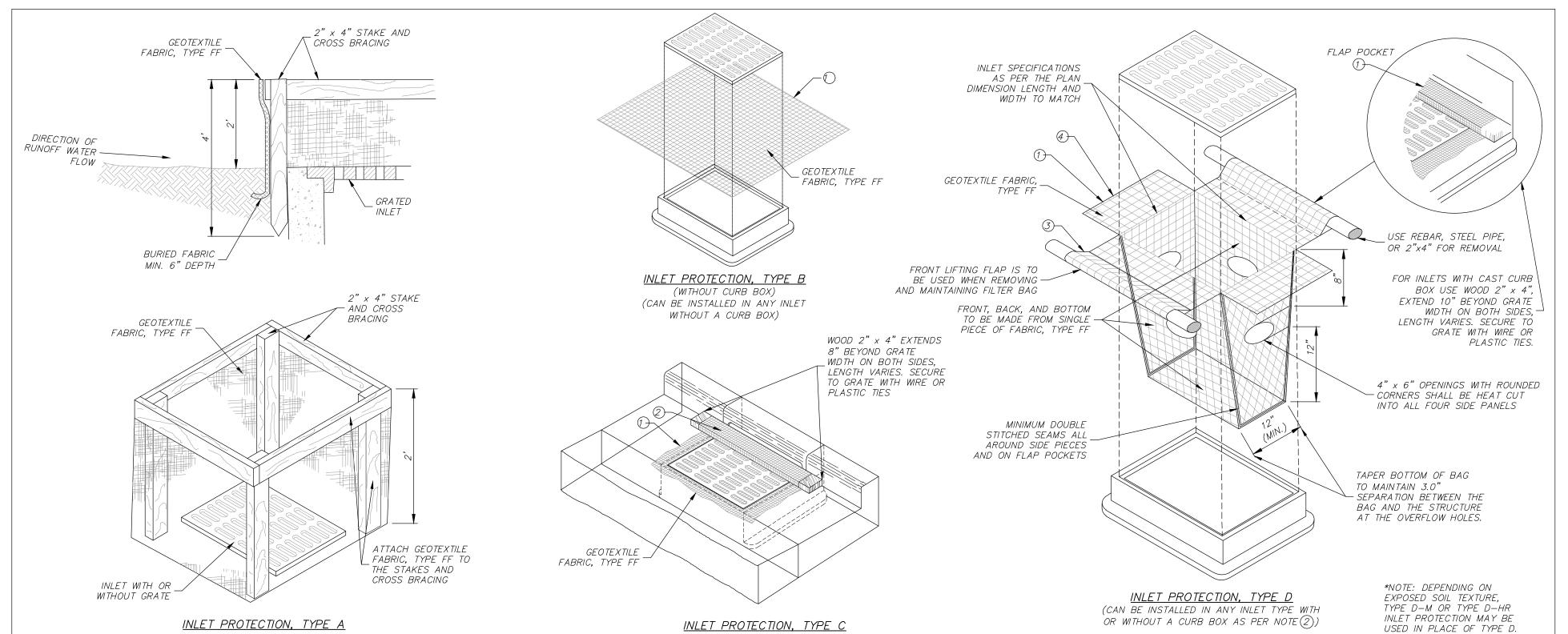
C. MAINTENANCE

AGGREGATE.

- ROCKS LODGED BETWEEN THE TIRES IF DUAL WHEEL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE CONSTRUCTION SITE.
- 2. TRACKING PADS AND TIRE WASHING STATIONS SHALL, AT AT MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
- 3. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL
- 4. A MINIMUM 12-INCH THICK PAD SHALL BE MAINTAINED.

STONE TRACKING PAD AND TIRE WASHING

(NOT TO SCALE)



(WITH CURB BOX) FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4. THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING. SIDE FLAPS SHALL BE A MAXIMUM OF 2" LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.

(NOT TO SCALE)

INLET PROTECTION DEVICES SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1060 AND BE

BOTTOM OF FILTER BAG BEING ONE PIECE.

GENERAL NOTES:

MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED IF ALLOWED BY ENGINEER.

TYPE A IS TO BE USED PRIOR TO PAVING AND INSTALLATION OF CURB AND GUTTER, AND TYPES B, C, AND D ARE TO BE USED AFTER PAVING IS PLACED.

TYPE B SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON INLETS WITHOUT A CURB BOX WHEN

TYPE A SHALL BE USED AROUND INLETS AND UNPAVED AREAS UNTIL PERMANENT STABILIZATION METHODS HAVE

TYPE D INLET DEVICES CANNOT BE USED. TYPE C SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON STREET INLETS WITH CURB HEADS. TYPE D SHALL BE USED IN AREAS WHERE OTHER TYPES OF INLET PROTECTION ARE INCOMPATIBLE WITH ROADWAY

AND TRAFFIC CONDITIONS (I.E. POSSIBLE SAFETY HAZARD IF PONDING OCCURS), OR WHERE MORE EFFECTIVE INLET TAPER BOTTOM OF BAG TO MAINTAIN 3" OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED

FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND

INSTALLATION NOTES:

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

STORM DRAIN INLET PROTECTION

(NOT TO SCALE)

MAINTENANCE:

REMOVE INLET PROTECTION DEVICES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH APPROPRIATE VEGETATION OR IMPERVIOUS SURFACE.

INLET PROTECTION SHALL BE, AT A MINIMUM, INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A

FOR TYPE A, B OR C INLET PROTECTION, SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING AS DESIGNED.

FOR TYPE D INLET PROTECTION (INCLUDING D-M AND D-HR), REMOVE SEDIMENT WHEN SEDIMENT ACCUMULATES TO WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES, OR WHEN ANDING WATER REMAINS WITHIN 6" OF THE BOTTOM OF THE OVERELOW HOLES 24 HOURS AFTER A RUNOFF EVENT. HOLES IN THE TYPE FF FABRIC MAY BE REPAIRED BY STITCHING IF LESS THAN 2" IN LENGTH, BUT THE FABRIC SHOULD BE REPLACED IF THE HOLES ARE GREATER THAN 2" IN LENGTH IN THE TYPE FF FABRIC OR IF THERE ARE ANY HOLES IN THE TYPE HR FABRIC. THE FILTER MUST ALSO BE REPLACED IF THE FLAP POCKETS SUSTAIN DAMAGE THAT COMPROMISES FILTER INTEGRITY OR THE ABILITY TO PERFORM MAINTENANCE.

REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLET AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.



KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



16745 W. Bluemound Road

(262) 781-1000

5 **/** \sim \sim

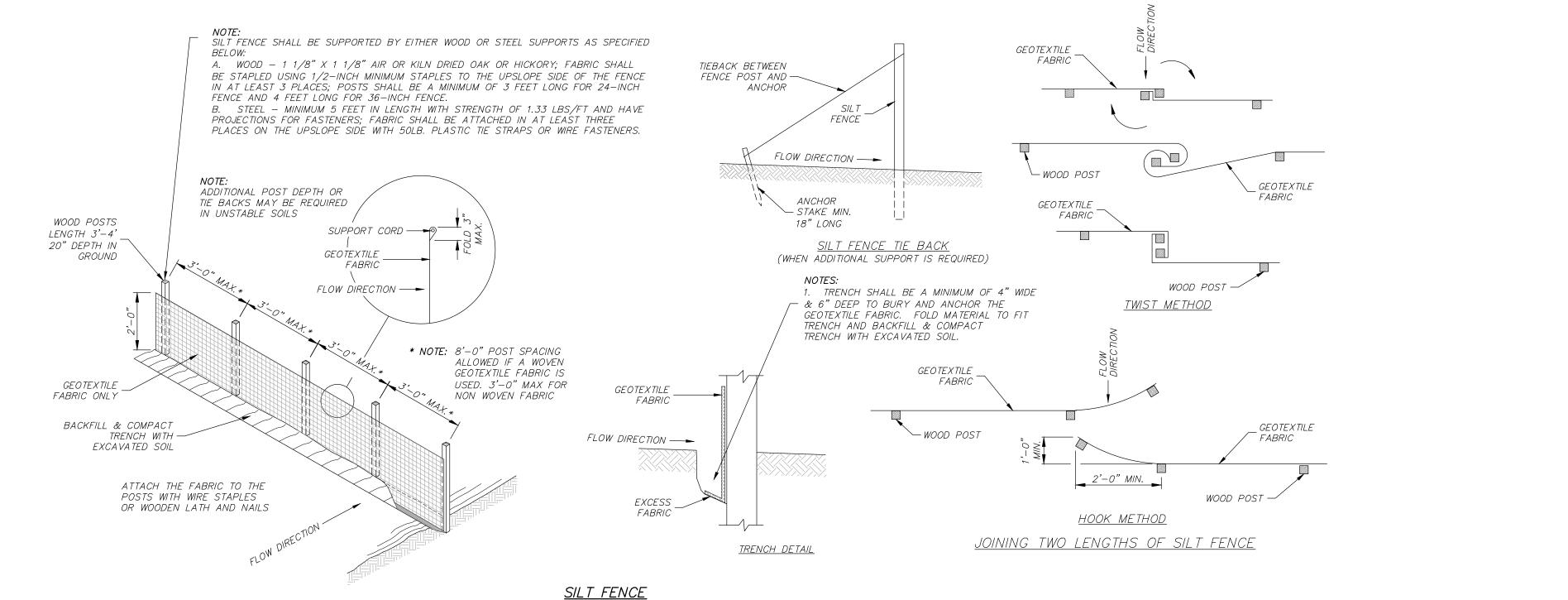
DATE	DESCRIPTION
RAWN BY	MAC
CALE	GRAPHIC
ROJ. NO.	3240196
ATE	02/18/2024
SHEET	C602

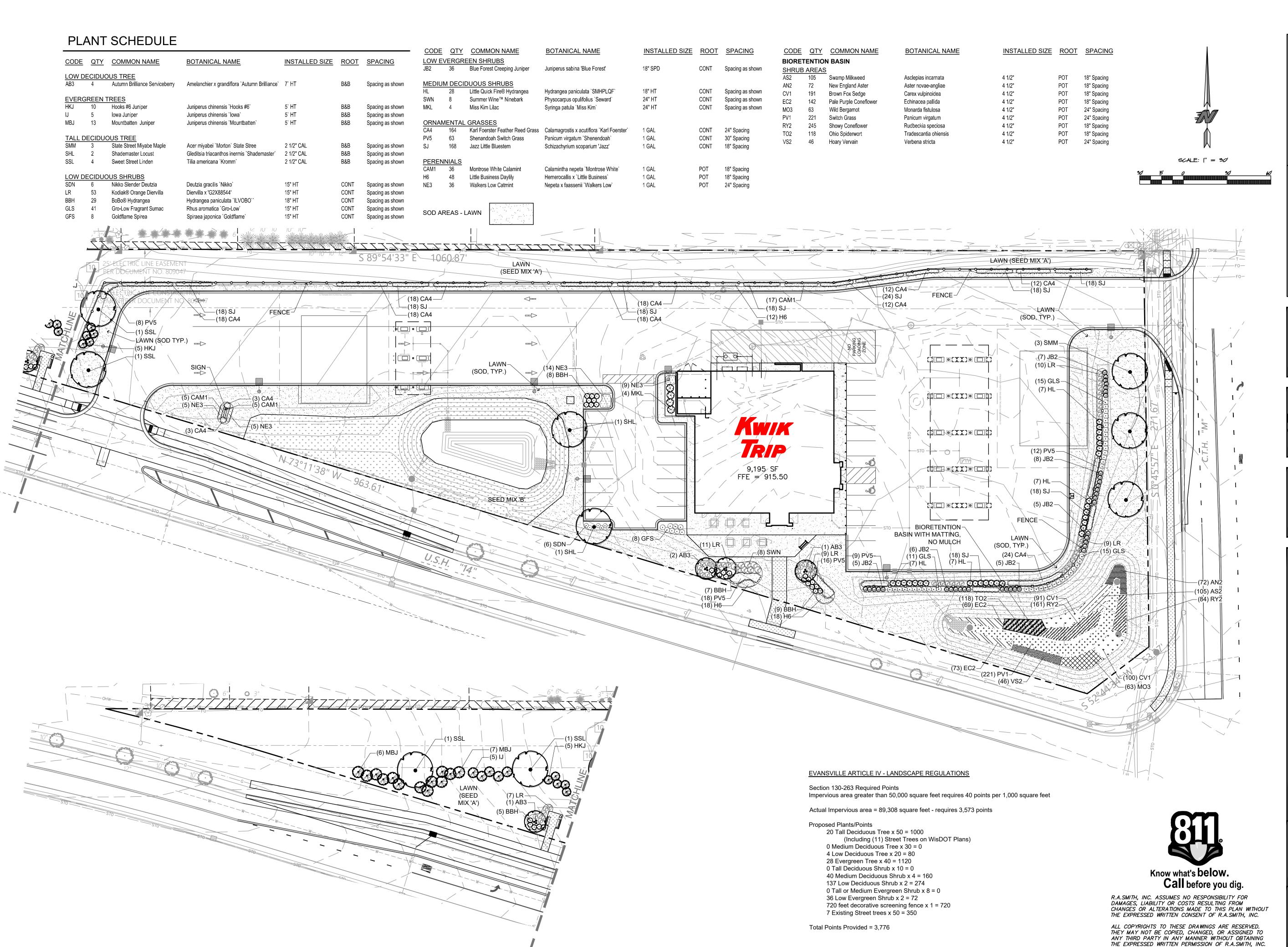
1. SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO WDNR CONSERVATION STANDARD

- 2. SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF
- 3. WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW:

SLOPE	FENCE SPACING
< 2%	100 FEET
2 TO 5%	75 FEET
5 TO 10%	50 FEET
10 TO 33%	25 FEET
> 33%	20 FEET

- 4. INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MAXIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
- 5. A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
- 6. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH WIDE BY 6-INCH DEEP TRENCH, OR 6-INCH V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER THAN NECESSARY FOR PROPER INSTALLATION.
- 7. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
- A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE,
- AT LEAST 180 DEGREES. B) HOOK METHOD--HOOK THE END OF EACH SILT FENCE LENGTH.
- 8. SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
- 9. DAMAGED OR DECOMPOSED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.
- 10. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.
- 11. SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.









KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960



16745 W. Bluemound Road (262) 781-1000

750 EL #1 ES ORE N DIE ENIENCI O MPD

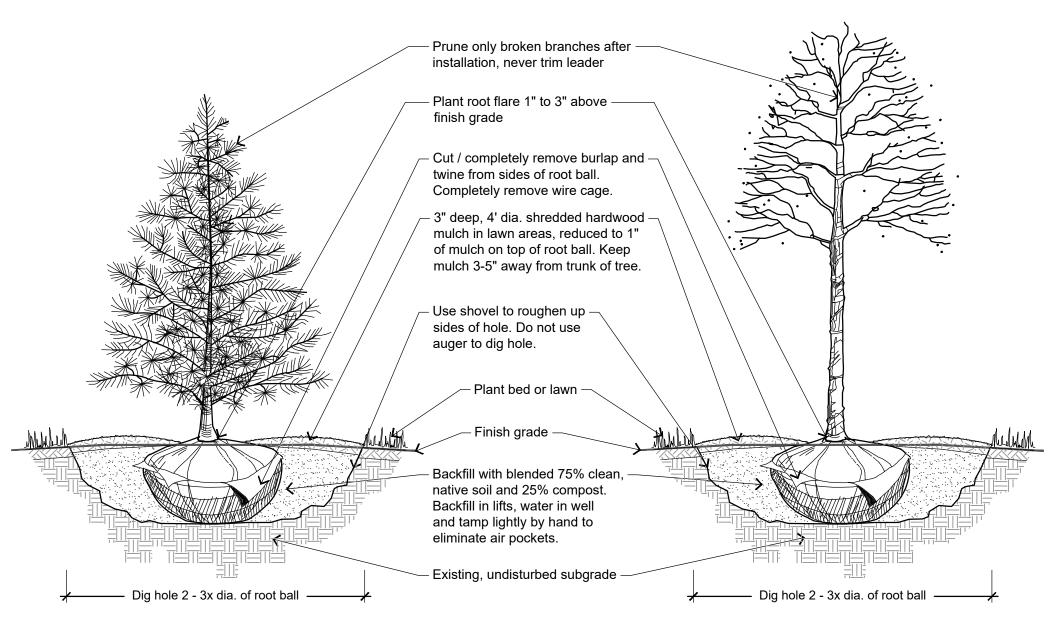
HIGHWAY 1. EVANSVILLE DATE DESCRIPTION DRAWN BY MAC GRAPHIC SCALE 3240196 PROJ. NO. 02/18/2024

SHEET

4 ⊞

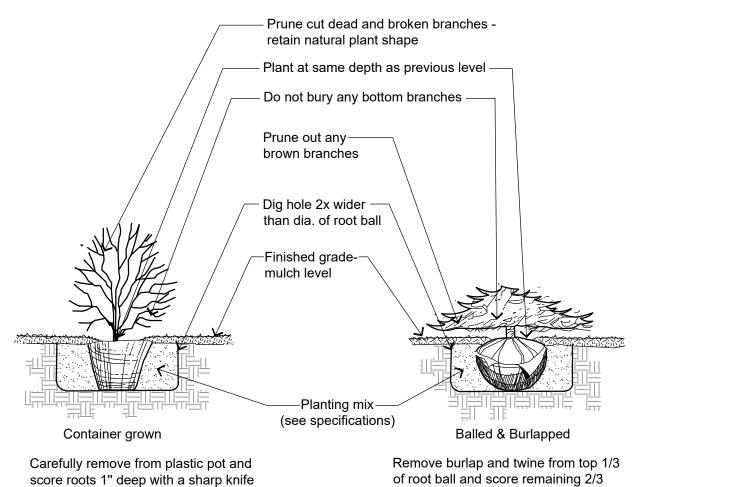
C700

PLANTING DETAILS



TREE PLANTING DETAIL

P-PL-TREE-07

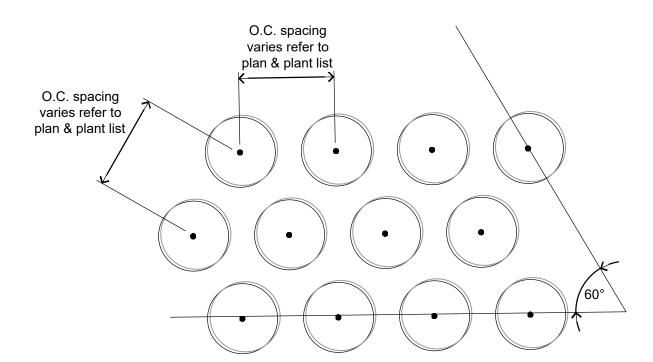


Bedlines are to be cut crisp as per plan. a clean definition between turf and plant bed is required. Top of mulch to be flush with turf - Mulch

SHRUB PLANTING DETAIL

SHOVEL OR MECHANICAL CUT PLANT BED EDGE DETAIL

NOT TO SCALE





P-PL-PLO-01

PLANTING SPECIFICATIONS

DIVISION 1 - GENERAL REQUIREMENTS

01 5 00 Substitution Procedures

1. Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.

01 11 13 Work Covered by Contract Documents

- 1. Warranty and replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of <u>one calendar year after the date of acceptance</u>. This assumes the owner performs required maintenance (i.e. regular watering) after the landscape contractor's maintenance period has been completed. Landscape contractor shall inform owner when required maintenance has concluded. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size.
- 2. The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting, throughout construction and until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass and native seeding areas. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, mowing lawn areas, sweeping up grass clippings, pruning and deadheading.
- 3. Upon substantial completion of the project, landscape contractor is responsible to conduct a final review of the project with the owner's representative and the general contractor to answer questions and insure that all specifications have been met. The landscape contractor shall provide watering and general ongoing maintenance instructions (in writing) for the new plantings and lawn areas.

012 16 Work Sequence

1. Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.

2. Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor. Inform landscape architect and general contractor of date(s) when planting shall commence.

DIVISION 32 - EXTERIOR IMPROVEMENTS

32 91 00 - PLANTING PREPARATION

32 91 13 Soil Preparation

- 1. Areas to be seeded: remove / kill off any existing unwanted vegetation prior to seeding with a glyphosate herbicide, applied only by a state certified applicator no sooner than 2 weeks prior to seed installation. Prepare seed bed areas to a maximum depth of 1 inch. Prepare the topsoil by removing all surface stones 1" or larger. Soil's surface should be loose and free of any soil clumps exceeding 1 inch in diameter. Do not fertilize native seeding areas.
- 2. Erosion control measures are to be used in swales and on steep grades, where applicable.
- 3. Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
- 4. Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.

32 91 13.16 Mulching

1. All tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not enviromulch or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material injurious to plant growth. All perennial and ornamental grass planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.

32 91 19 LANDSCAPE GRADING

32 91 19.13 Topsoil Placement and Grading

- 1. The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
- 2. Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
- 3. Topsoil shall be placed to meet proposed finished grade. Planting islands to be backfilled with screened topsoil (per note below) to a minimum depth of 18" by general / grading contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 6" of clean topsoil (per note below).
- 4. Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
- 5. Planting beds and parking lot islands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
- 6. Seeded areas: to receive a settled minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.

32 92 00 - TURF AND GRASSES

32 92 19 Seeding

- 1. Seed mix type 'A' for lawn areas use only a premium quality seed mix. Premium blend seed mix example (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
- 2. Seed mix type 'B' for slopes of stormwater basin: Wisconsin DOT No. 10 seed mix: 40% Kentucky bluegrass 98/85, 25% creeping red fescue, 20% perennial ryegrass, 10% white clover & 5% red top applied at 1.5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation. Preparation of soil to be the same as for all other seeded turf grass areas.
- 3. Erosion control measures are to be used in swales and on steep grades, where applicable.
- 4. If straw mulch is used as a covering for seeding, a tackifier may be necessary to avoid wind
- 5. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf and evenly seeded

6. An acceptable quality seed installation is defined as having:

- a. No bare spots larger than 1/2 square foot
- b. No more than 5% of the total area with bare spots larger than 1/2 square foot c. A uniform coverage throughout all areas

32 92 23 Sodding

- 1. Remove / kill off any existing unwanted vegetation prior to sodding.
- 2. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod.
- 3. Use only premium sod blend according to TPI (revised 1995) and ASPA standards.
- 4. Install sod uniformly with staggered joints, laid tightly end to end and side to side. 5. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth.
- 6. Stake any sod installed on steep slopes or in swales, etc.
- 7. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. 8. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than $\frac{1}{2}$ square foot) until acceptance by owner.

32 93 00 - PLANTS

1. All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.

32 93 33 Shrubs

1. Shrubs shall be planted per planting details.

- 2. All shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes.
- 3. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in

before proceeding.

32 93 43 Trees

- 1. Trees shall be planted per planting details.
- 2. Plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed.
- 3. An auger is not an acceptable method of digging tree planting holes.
- 4. Scarify side walls of tree pit prior to installation.
- 5. Once tree has been placed into the hole, is at the correct depth and vertical alignment and will no longer be moved; brace root ball by tamping soil around the lower portion of the root ball. Remove and discard twine / rope, burlap and support wire from the sides of root ball.
- 6. Backfill tree planting holes with 75% existing soil removed from excavation and 25% compost blended prior to backfilling holes, in six-inch lifts. Lightly tamp each lift using foot pressure or hand tools to settle backfill, support the tree and eliminate voids. Do not over compact or use mechanical or pneumatic tamping equipment. Discard any gravel, heavy clay or stones.
- 7. When hole has been backfilled to three-quarters of its depth, pour water around the root ball and allow to soak into soil to settle the soil. Continue backfilling until soil is brought to
- 8. Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all trees in lawn areas, reduced to 1" deep on top of root ball. Keep mulch 3" - 5" away from trunk of
- 9. Trees that are installed incorrectly will be replaced at the time and expense of the
- 10. Trees too large for two people to lift in and out of holes, shall be placed with sling. Do not
- rock the trees in holes to raise them.

32 94 00 - PLANTING ACCESSORIES

32 94 13 Landscape Edging

1. Edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn and plant bed is required.



Know what's below. Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.





KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960

16745 W. Bluemound Road

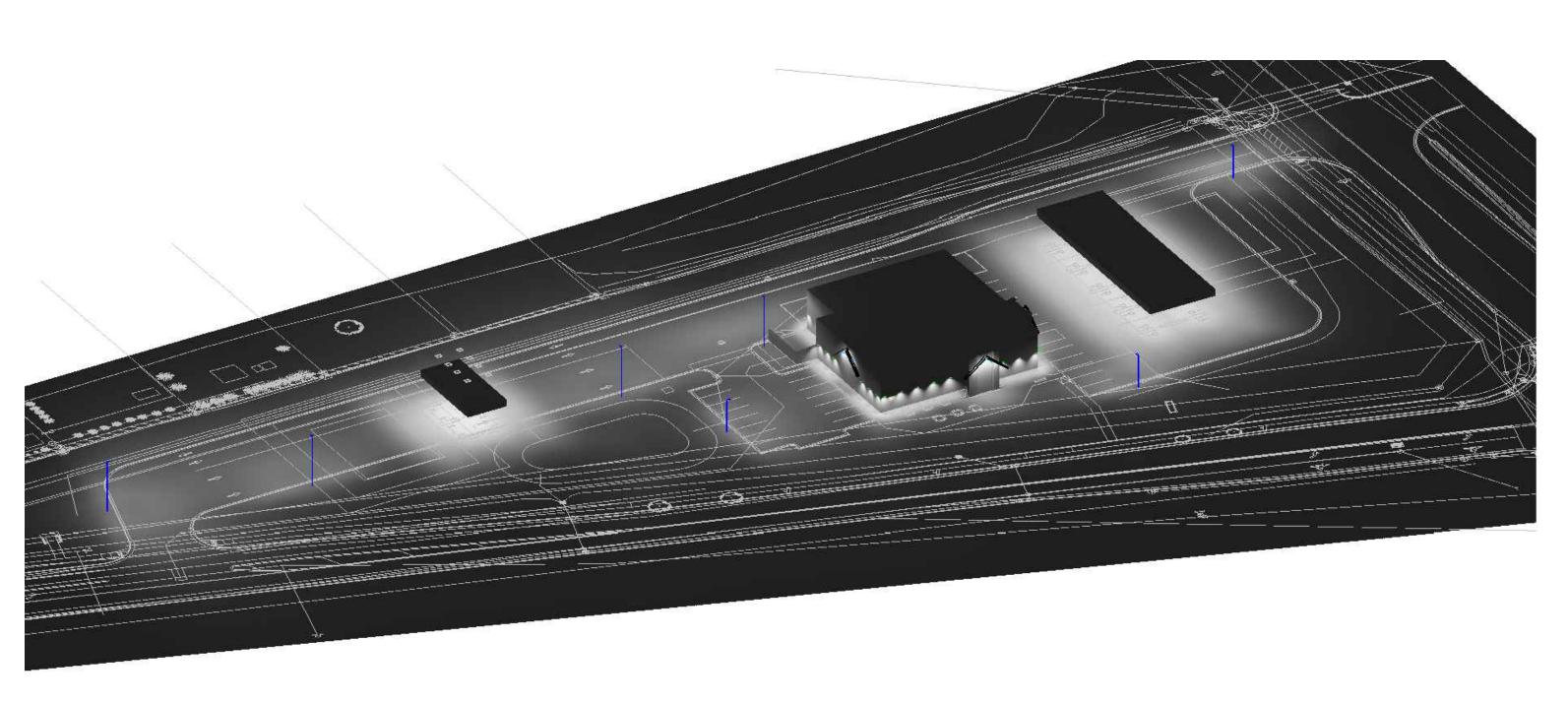


5 Γ **7** S

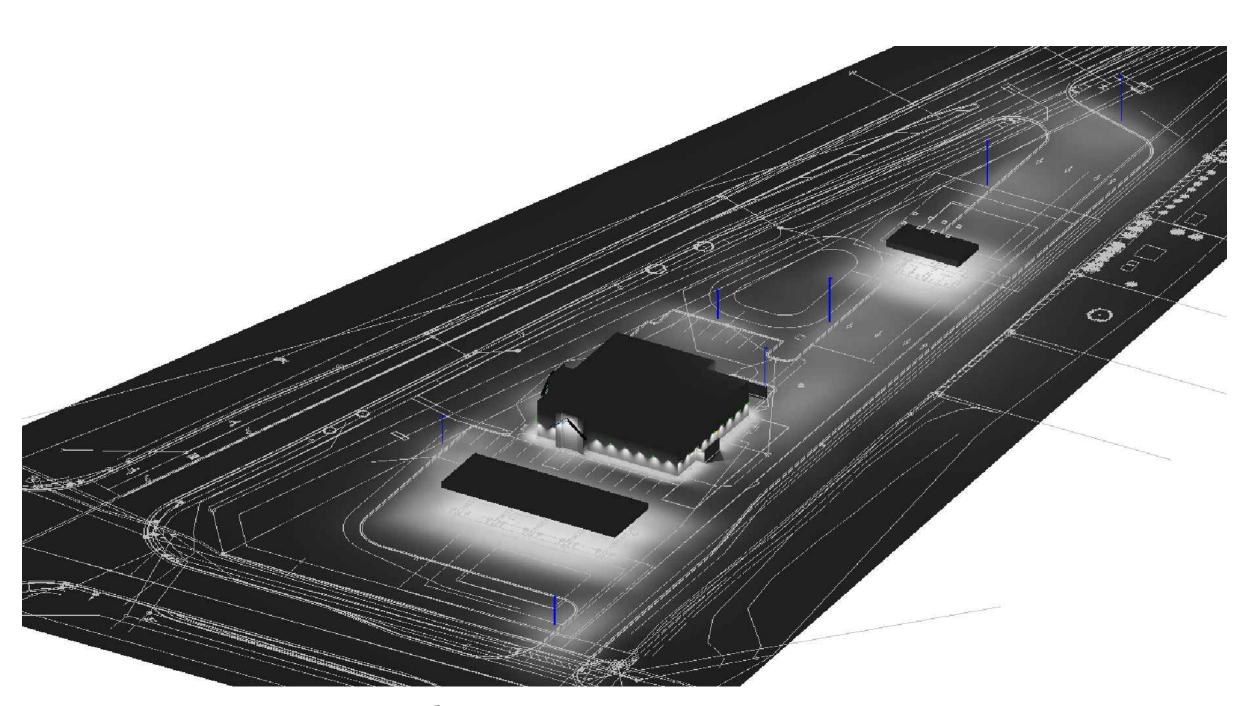
4 Щ

	۸)	т ш
# DATE	DESCRIPTION	١
DRAWN BY		MAG
SCALE		GRAPHIC
PROJ. NO.		324019
DATE		02/18/202
	•	•

SHEET











KWIK TRIP

KWIK Star

KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107

PH. (608) 781-8988 FAX (608) 781-8960

	<u> </u>

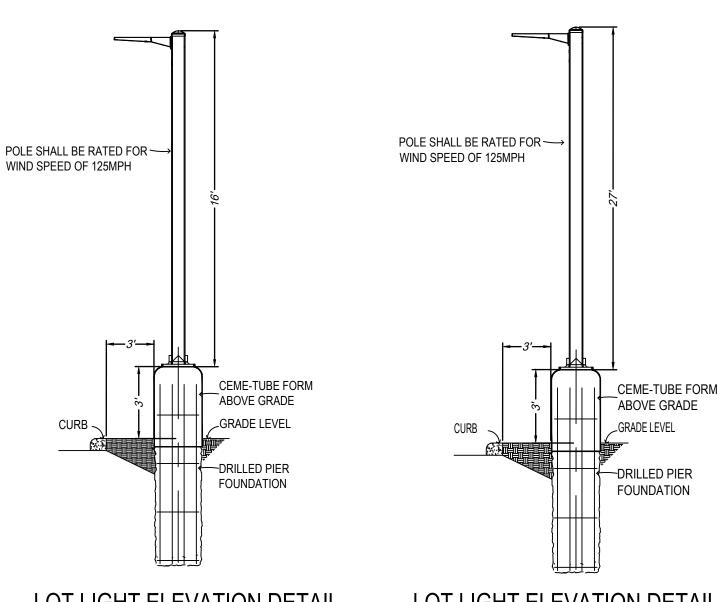
HIGHWAY 14 & COUNTY ROAD M EVANSVILLE, WI

RENDERING PLANS

CONVENIENCE STORE #1750
WITH 10 MPD & 2-LN DIESEL

# DATE	DESCRIPTION
DRAWN BY	BAB / DLC
SCALE	GRAPHIC
PROJ. NO.	3240196
DATE	12/04/2024
SHEET	C801





GENERAL NOTES:

- 1. FOOTCANDLE LEVELS SHOWN ON THIS PLAN ARE CALCULATED AT GRADE LEVEL.
- 2. ALL POLES SHALL BE INSTALLED A MINIMUM OF 3'-0" FROM BACK OF CURB TO EDGE OF POLE BASE UNLESS NOTED.
- 3. POLE THAT ARE LOCATED AT CORNER OF ISLAND SHALL BE A MINIMUM OF 6'-0" FROM BACK OF CURB TO EDGE OF POLE BASE. POLES THAT MUST BE INSTALLED LESS THAN 6'-0" FROM BACK OF CURB TO EDGE OF POLE BASE SHALL HAVE PROTECTIVE BOLLARDS INSTALLED AROUND THE POLE BASE. COORDINATE WITH KWIK TRIP PRIOR TO INSTALLATION.
- 4. CODE REQUIRES DARK SKY COMPLIANCE. ALL SITE LIGHTING SHALL BE

KEYED NOTES:

FUEL TANK TO EDGE OF POLE BASE

- COORDINATE LOCATION AND MOUNTING HEIGHT OF SECURITY CAMERA WITH OWNER.
- 2 CONTRACTOR SHALL INSTALL POLE MOUNT FIXTURE 12'-0" FROM THE OVER DIG OF UNDERGROUND FUEL TANK TO EDGE OF POLE BASE.
- ONDERGROUND FUEL TANK TO EDGE OF POLE BASE.

 PRO

 3 CONTRACTOR SHALL INSTALL POLE MOUNT FIXTURE 12'-0" FROM THE UNDERGROUND

CALCULATION STATISTICS FIXTURE SYMBOLS:

2024-0195.48

LED LIGHT MOUNTED UNDER FUEL CANOPIES

LED STRIP LIGHT MOUNTED IN GABLE

• RECESSED LED DOWNLIGHT

WALL MOUNTED LED FIXTURE

POLE MOUNTED LED FIXTURE

□ CAMERA

PROVIDE (3) 16' POLES AND (4) 27' POLES.

FIXTURE QUANTITIES

MAXIMUM: 76.3

MINIMUM: 0.0

S7E - 6

CF - 20

CFBK -8

CWT - 3

P13 - 1

P1F - 1 P1FL - 1

P23 - 1

P2F - 1

FIXTURE TYPES:

- D20 RECESSED LED DOWNLIGHT GOTHAM EVO8-30/30-AR-WD-120-TRW
- S7E LED STRIP LIGHT MOUNTED IN GABLE LITHONIA TZL1N-L96-10000LM-FST-MVOLT-30K
- CF LSI LIGHTING: SCV-LED-23L-SCFT-UNV-DIM-30-WHT MOUNTED UNDER GAS CANOPY MOUNT FIXTURES WITH FORWARD THROW OPTIC AIMING IN DIRECTION OF ARROW.
- CFBK LSI LIGHTING: SCV-LED-23L-SCFT-UNV-DIM-30-BLK
 MOUNTED UNDER DIESEL CANOPY MOUNT FIXTURES
 WITH FORWARD THROW OPTIC AIMING IN DIRECTION OF
 ARROW
- CWT LED WALL PACK LSI LIGHTING:

 XWS-LED-5L-SIL-FT-UNV-DIM-30-70CRI-BLK

 FOOTCANDLES CALCULATED AT MOUNTING HEIGHT OF

 8'-6" AFG

P13 - LSI LIGHTING: MRS-LED-18L-SIL-3-UNV-30-70CRI-WHT

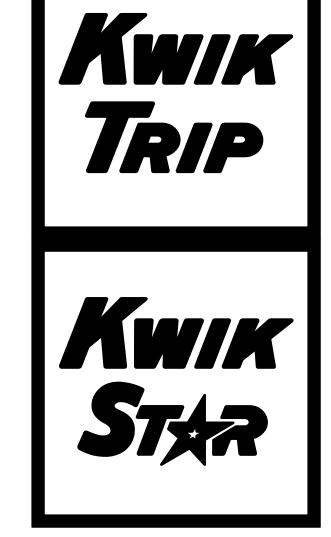
P1F - LSI LIGHTING: MRS-LED-18L-SIL-FT-UNV-30-70CRI-WHT

P1FL - LSI LIGHTING: MRS-LED-18L-SIL-FT-UNV-30-70CRI-WHT-IL

P2F - LSI LIGHTING: MRS-LED-30L-SIL-FT-UNV-30-70CRI-WHT-IL
P2FL - LSI LIGHTING: MRS-LED-30L-SIL-FT-UNV-30-70CRI-WHT-IL

P23 - LSI LIGHTING: MRS-LED-30L-SIL-3-UNV-30-70CRI-WHT





KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960

SITE PLAN STORE #1750 2-LN DIESEL

CONVENIENCE STORE WITH 10 MPD & 2-LN D

PHOTOM

275 West Wisconsin Avenue, Suite 300

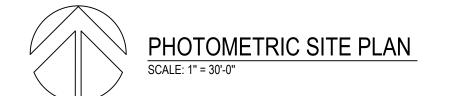
Milwaukee, WI 53203 414 / 259 1500 414 / 259 0037 fax ROAD

COUNTY

HIGHWAY 14 EVANSVILLE,

DATE	<u>DESCRIPTION</u>
RAWN BY	
CALE	GRAPHIC
ROJ. NO.	3240196
ATE	12/04/2024
HEET	C800

LOT LIGHT ELEVATION DETAIL LOT LIGHT ELEVATION DETAIL NOT TO SCALE NOT TO SCALE DETAIL APPLIES TO POLES 5 THRU 7 DETAIL APPLIES TO POLES 1 THRU 4 28.7,12.1,2.3 , 1.8 , 2.1 , 2.9 , 4.7 , 8.5 , 14.8,22 \(\) 27.6, 30.8, 372, 46.2 \(\) 11.146.2, 40.5, 39.2 \(\) 4.7, 50.3, 48.2, 39.3, 31.7, 28.2, 23.5, 16.2, 9.4 , 4.9 , 2.5 , 1.4 , 0.9 , 0.6 , 0.4 , 0.3 , 0.3 , 0.2 , 0.2 , 0.1 , 0.1 , 0.1 , 0.1 , 0.1 , 0.1 , 0.1 , 0.0 ,





APPLICATION FOR PRELIMINARY AND FINAL DIVISION - STAFF REPORT

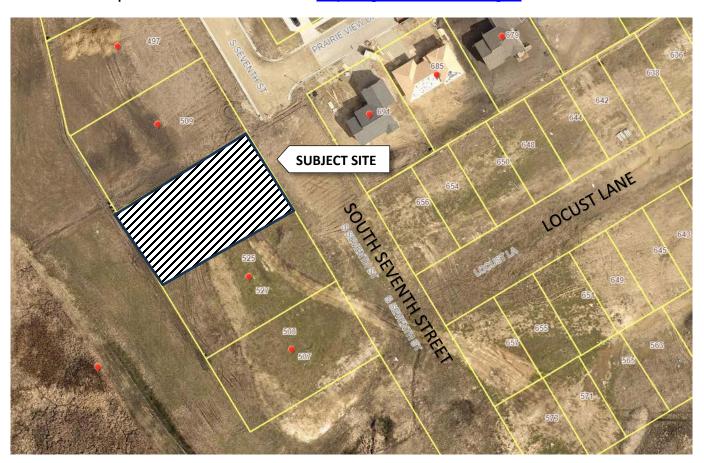
Application: LD-2025-03

Applicant: Grove Homes LLC

Parcel 6-27-553.501

March 4th, 2025

Prepared by: Colette Spranger, Community Development Director Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263



Location: Lot 1, Stonewood Grove (517 and 519 South Seventh Street)

Description of request: An application has been made to divide the lot along the shared wall of the duplex that is already built.

Existing Uses: The existing 16,656 square foot parcel has a duplex under construction. In order for the landowner to sell each unit separately, the units must be legally divided. This requires a Certified Survey Map.

Existing Zoning: R-2 Residential District Two

Proposed Land Division: The CSM will divide the parcel into two lots, using the common wall of the building as a lot line. This kind of land division is commonly referred to as a zero lot line CSM. Lot 1 is proposed to be 8,041 square feet (0.18 acres) and will include the dwelling unit with the address of 519 South Seventh Street. Lot 2 will contain the remaining 8,615 square feet (0.20 acres) and the dwelling unit addressed at 517 South Seventh Street. A joint cross access and maintenance agreement per Section 130-323(5) of the Municipal Code will be required once the new lots are recorded.

Per the City's Land Division ordinance, all subdivision applications (including CSMs) should be reviewed by the Municipal Services Committee. The purpose of this review is to identify any potential issues for city utilities or other facility needs. This land division is occurring within an established subdivision already reviewed by the Municipal Services Committee and is not changing uses or intensities from what was originally proposed. The land division will not generate a need for future infrastructure or negatively impact existing infrastructure.

Consistency with the City of Evansville Comprehensive Plan and Municipal Code: The proposed land division and land uses are thoroughly consistent with the Future Land Use Map of the Comprehensive Plan. The proposal complies with the design standards and environmental considerations as set forth in the Land Division and Zoning Ordinances.

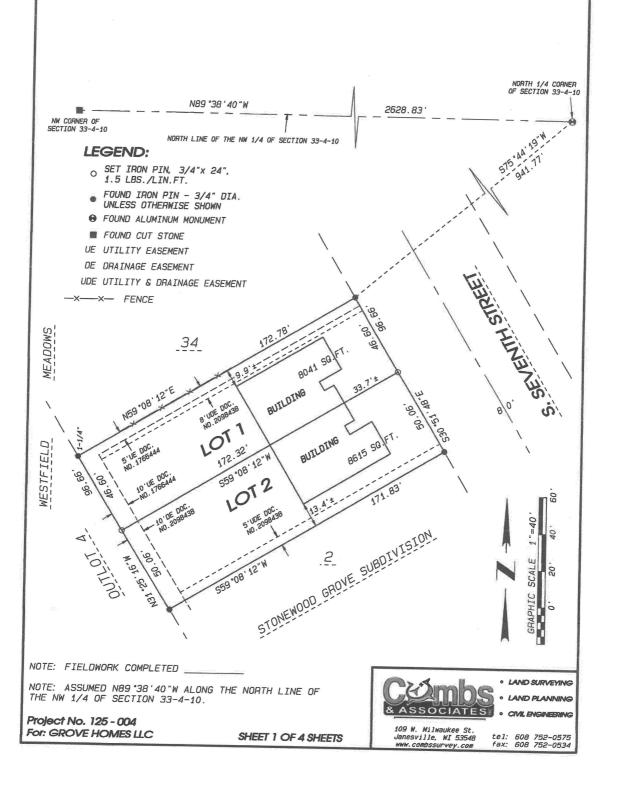
<u>Staff Recommended Motion:</u>

Motion to recommend Common Council approve a certified survey map to divide parcel 6-27-533.501 into two lots for a two-family twin residence addressed at 517 and 519 South Seventh Street finding that the application is in the public interest and meets the objectives contained within Section 110-102(g) of city ordinances, with the following conditions:

- 1. The final CSM is recorded with Rock County Register of Deeds.
- 2. The applicant records a joint cross access and maintenance agreement for each of the new lots made by CSM.

CERTIFIED SURVEY MAP

LOT 1, STONEWOOD GROVE SUBDIVISION. LOCATED IN THE NE 1/4 OF THE NW 1/4 OF SECTION 33, T.4N., R.10E. OF THE 4TH P.M., CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN. FORMERLY BEING PART OF LOT 33, WESTFIELD MEADOWS.





APPLICATION FOR PRELIMINARY AND FINAL DIVISION - STAFF REPORT

Application: LD-2025-04

Applicant: Grove Homes LLC

Parcel 6-27-553.503

March 4th, 2025

Prepared by: Colette Spranger, Community Development Director Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263



Location: Lot 3, Stonewood Grove (533 and 537 South Seventh Street)

Description of request: An application has been made to divide the lot along the shared wall of the duplex that is already built.

Existing Uses: The existing 16,475 square foot parcel has a duplex under construction. In order for the landowner to sell each unit separately, the units must be legally divided. This requires a Certified Survey Map.

Existing Zoning: R-2 Residential District Two

Proposed Land Division: The CSM will divide the parcel into two lots, using the common wall of the building as a lot line. This kind of land division is commonly referred to as a zero lot line CSM. Lot 1 is proposed to be 7,953 square feet (0.18 acres) and will include the dwelling unit with the address of 533 South Seventh Street. Lot 2 will contain the remaining 8,522 square feet (0.20 acres) and the dwelling unit addressed at 537 South Seventh Street. A joint cross access and maintenance agreement per Section 130-323(5) of the Municipal Code will be required once the new lots are recorded.

Per the City's Land Division ordinance, all subdivision applications (including CSMs) should be reviewed by the Municipal Services Committee. The purpose of this review is to identify any potential issues for city utilities or other facility needs. This land division is occurring within an established subdivision already reviewed by the Municipal Services Committee and is not changing uses or intensities from what was originally proposed. The land division will not generate a need for future infrastructure or negatively impact existing infrastructure.

Consistency with the City of Evansville Comprehensive Plan and Municipal Code: The proposed land division and land uses are thoroughly consistent with the Future Land Use Map of the Comprehensive Plan. The proposal complies with the design standards and environmental considerations as set forth in the Land Division and Zoning Ordinances.

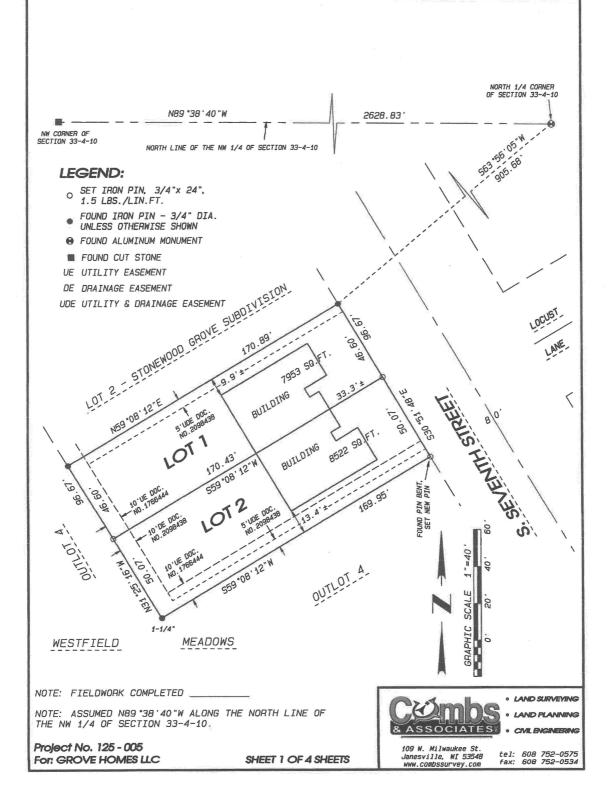
Staff Recommended Motion:

Motion to recommend Common Council approve a certified survey map to divide parcel 6-27-533.503 into two lots for a two-family twin residence addressed at 533 and 537 South Seventh Street finding that the application is in the public interest and meets the objectives contained within Section 110-102(g) of city ordinances, with the following conditions:

- 1. The final CSM is recorded with Rock County Register of Deeds.
- 2. The applicant records a joint cross access and maintenance agreement for each of the new lots made by CSM.

CERTIFIED SURVEY MAP

LOT 3, STONEWOOD GROVE SUBDIVISION. LOCATED IN THE NE 1/4 OF THE NW 1/4 OF SECTION 33, T.4N., R.10E. OF THE 4TH P.M., CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN. FORMERLY BEING LOT 31 AND PART OF LOT 32, WESTFIELD MEADOWS.





APPLICATION FOR CONDITIONAL USE AND SITE PLAN - STAFF REPORT

Application: 2015-06 **Applicant:** Hop Garden

Parcel 6-27-7

March 4, 2025

Prepared by: Colette Spranger, Community Development Director

Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263

Location: 16 and 18 E Main Street

Description of request: The applicant plans to expand their restaurant into an adjacent business space. The applicant is seeking an amended conditional use permit to extend its Indoor Commercial Entertainment conditional use permit on parcel 6-27-7 within the B-2 zoning district.

Existing/Prior Uses: Long vacant.

Staff Analysis of Request:

The original conditional use permit for 18 E Main was issued in 2015 for a café/bakery. Conditional use permits run with the parcel and are transferred to subsequent property owners/users. Conditional use permits only expire when the use is not utilized for more than a year.

The existing conditional use permit requires a new conditional use permit application for a "substantial change" to the business model. This is an expansion of the existing business to include the vacant commercial space addressed at 16 E. Main Street. This is similar to the request made by Slice Golf earlier in 2024 to expand its business into an adjacent vacant space. Similar to Slice Golf, staff finds that an entirely new permit and public hearing is unneeded. The business model is not substantially changing.

16 E. Main Street is under the same ownership as 18 E. Main Street. The two addresses are on separate tax parcels. This is a similar configuration as Lake Ridge Bank (formally Union Bank and Trust), which occupies three separate properties but is connected on the inside.

The applicant is working with the Historic Preservation Commission on improvements to the outside façade of the building. The applicant is also working with the City to obtain funding through WHEDA to improve the two vacant residential units on the second and third floors, which are in need of significant upgrades.

The 2015 conditions of approval for indoor commercial entertainment use at 18 E Main are as follows:

- 1) The business operator shall comply with all provisions in the city's zoning code, as may be amended, including conditional use regulations as per sections 130-408 and 130-538.
- 2) Any new or additional signage would be subject approval of a sign permit and Historic Preservation Commission review.
- 3) The business operator shall obtain and maintain all city, state, and county permits and licenses as may be required now and in the future.
- 4) Any substantial changes to the business model, such as significant differences in hours of operation, expansion of outdoor dining area, or change in type of business, shall require a review of the existing

- conditional use permit and may require the application, fee, review and issuance of a new conditional use permit.
- 5) The use shall not cause a public or private nuisance as defined by State law.
- **6)** The parking requirements are waived as per Sec. 130-408(3)
- 7) Any parked trailers or equipment are stored in the rear of the property and do not obstruct any public right of way and are buffered from street view from Main Street
- **8)** Hours of operation shall be no earlier than 6am Monday through Sunday and no later than 10pm Monday through Sunday.

Required Plan Commission findings for Conditional Use Permit request: Section 130-104(3) of the Municipal Code, includes criteria that should be considered in making this decision:

1. Consistency of the use with the comprehensive plan. The proposed use in general and in this specific location is consistent with the city's comprehensive plan of September 2022.

Staff Comment: Policies in the Comprehensive Plan provide support for variety and diversification of uses in its historic downtown, particularly those that enhance walkability.

2. Consistency with the City's zoning code, or any other plan, program, or ordinance. The proposed use in general and in this specific location is consistent with City's zoning code, or any other plan, program, or ordinance, whether adopted or under consideration pursuant to official notice of the city.

Staff comment: The proposed use, indoor commercial entertainment, is consistent with the City's zoning code and other plans, programs, and ordinances.

3. **Effect on nearby property**. The use will not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the City's zoning code, the comprehensive plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the city.

Staff Comment: The commercial space has been vacant since at least 2018. Vacant spaces are an economic detriment to downtowns. Investments to the building will bring back two affordable housing units to the City. Expanding into this location will also enable the Hop Garden to remain in downtown Evansville.

4. **Appropriateness of use**. The use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Staff Comment: This location is an appropriate use for an entertainment business.

5. **Utilities and public services**. The use will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by the City or any other public agency serving the subject property.

Staff Comment: the property is currently served by public utilities

Required Plan Commission conclusion: Section 130-104(3)(f) of the Municipal Code requires the Plan Commission to determine whether the potential public benefits of the conditional use do or do not outweigh

any and all potential adverse impacts. The proposed motion below states that benefits do in fact outweigh any and all potential adverse impacts.

<u>Staff recommended motion for Plan Commission:</u> Motion to approve a Conditional Use Permit for indoor commercial entertainment per section 130-408 on parcel 6-27-7, located at 16 E Main Street, finding that the benefits of the use outweigh any potential adverse impacts, and that the proposed use is consistent with the required standards and criteria for issuance of a CUP set forth in Section 130-104(3)(a) through (e) of the Zoning Ordinance, subject to the following conditions:

- 1) The business operator, now and in the future, shall comply with all provisions of Section 130-408 in the City's Zoning Code, as may be amended, related to indoor commercial entertainment uses.
- 2) The parking requirements for this use in this location shall be waived.
- 3) Hours of operation shall be no earlier than 8am and no later than 10pm.
- 4) The business operator shall obtain and maintain all City, state, and county permits and licenses as may be required.
- 5) Any substantial changes to the business model, such as significant differences in hours of operation or type of business, shall require a review of the existing conditional use permit and the issuance of a new conditional use permit.
- 6) A sign application and Certificate of Appropriateness approval, issued by the Historic Preservation Commission, is required for any planned signage related to the business.
- 7) Use cannot create a public nuisance as defined by local and state law.
- 8) The Conditional Use Permit is recorded with the Rock County Register of Deeds.